

Cass County Planning Commission Meeting
Thursday, December 7, 2017 at 7:00 a.m.
Cass County Highway Department Vector Conference Room
1201 West Main Avenue in West Fargo
Agenda

Business Items:

1. Call to Order
2. Roll Call
3. Determination of a Quorum
4. Approve Meeting Minutes of October 26, 2017
5. New Business

A. Public Hearing Items:

- a. Wadeson Acres Subdivision – a Minor Subdivision in Section 5 of Walburg Township

6. Old Business
7. Adjournment

**CASS COUNTY PLANNING COMMISSION
OCTOBER 26, 2017**

1. MEETING TO ORDER

A meeting of the Cass County Planning Commission was called to order on October 26, 2017, at 7:00 AM in the Vector Control Conference Room with members present as follows: Todd Ellig, David Gust, and Ken Lougheed. Keith Monson and Mark Wentz were present via conference call. Arland Rasmussen, Dr. Mahoney and Kevin Fisher were absent. Also present was Cass County Planner Hali Durand.

2. MINUTES, APPROVED

MOTION, passed

Mr. Gust moved and Mr. Ellig seconded to approve the minutes of the September 28, 2017, meeting as presented. Motion carried.

3. Jordan Subdivision (Minor Subdivision), Final plat approved

Mr. Lougheed opened the public hearing.

An application for a Minor Subdivision (plat) was received by the Cass County Planning Office for approval of a tract of land located in the southeast quarter of Section 17, Warren Township, to plat one lot for residential sale. The said tract contains approximately 16.58 acres of land, more or less. The proposed ownership and maintenance responsibility of the subdivision will be private. The subdivision will use private gravel roads, ditches for storm sewer conveyance, rural water and an on-site septic sewer system for waste water treatment. The existing land is and will remain Agricultural.

Ms. Durand recommends approval of the Final Plat as it meets the goals and objectives of the Cass County Comprehensive Plan, the Cass County Highway Access Plan, the Flood Damage Prevention Ordinance, the Cass County Subdivision Ordinance and all other applicable regulations, with conditions for approval to include a Deed Restriction of land up to ~~40~~40 acres. Ms. Durand also informed the board that per Warren Township, there is a building onsite that is being used for business instead of agriculture. She would recommend the board make a recommendation that if the commercial use continues, owners should apply to the township for a Conditional Use Permit.

The public hearing was closed.

MOTION, passed

Mr. Gust moved and Mr. Ellig seconded to recommend approval to the Cass County Commission of the Final Plat for Jordan Subdivision (Minor Subdivision) as presented with the recommendation that if they are going to continue using the building in question commercially, they apply for a Conditional Use Permit from Warren Township. Motion carried.

4. Old Business

Ms. Durand discussed the work that has been ongoing for the Comprehensive Plan. Ms. Durand has been doing a lot of work in getting the word out about the surveys and many are starting to come back in.

5. NEW BUSINESS

Ms. Durand received a plat for Krom Subdivision and she would like some direction from the board as to how to proceed. The land owner is requesting we move our December meeting to the first week in December so that our action can be taken prior to their scheduled closing. After reviewing the plat, it does not appear that this plat needs to go to a public hearing or needs board approval as all lots are a minimum of 40 acres.

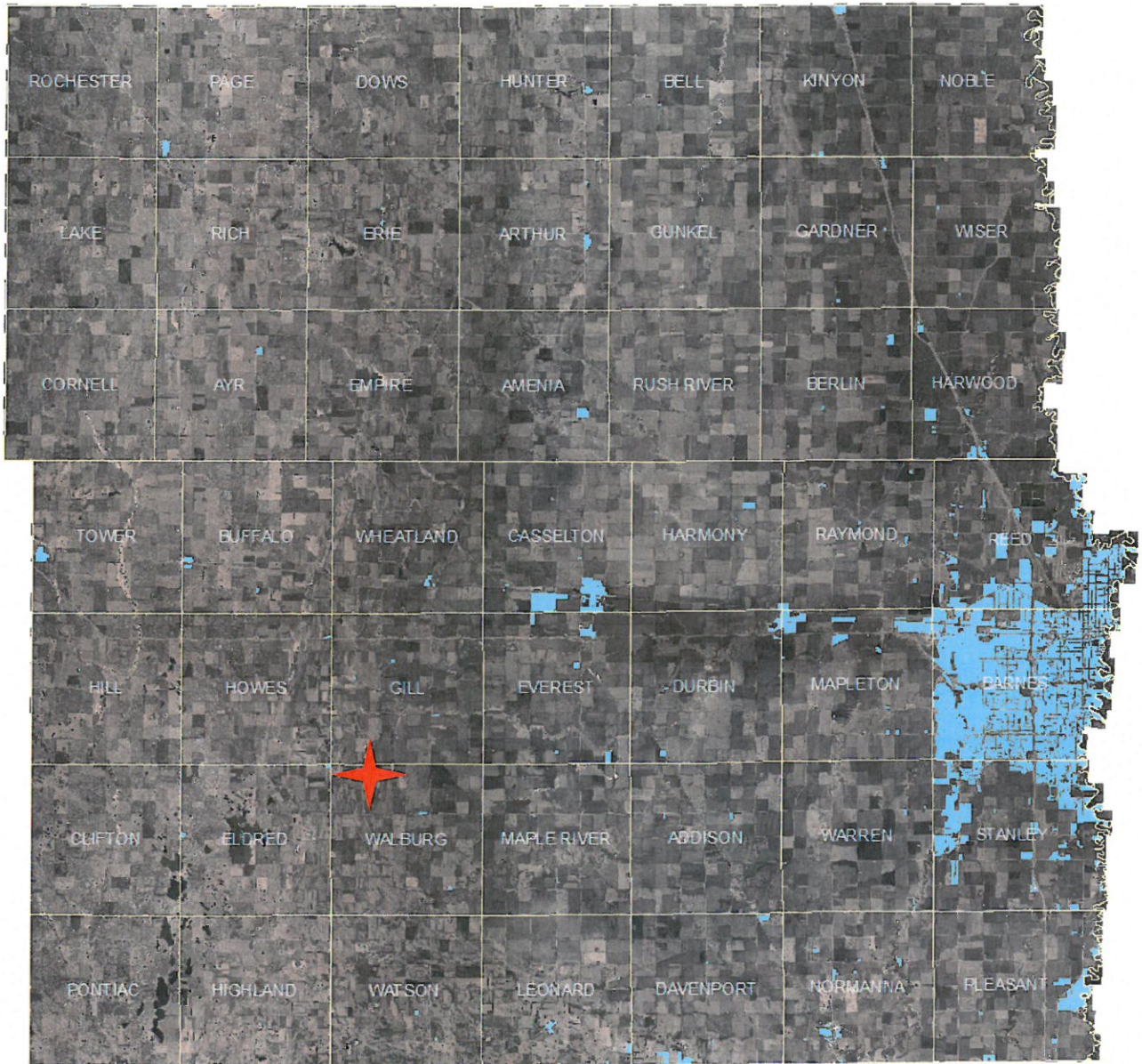
Ms. Durand also received a call from a land owner who has a ¼ section that they are currently farming. They now want to build a residence on part of that ¼ section. If they need to subdivide as a condition for the mortgage company, Ms. Durand is asking the board if they need to plat it to meet our subdivision ordinance or do they qualify as one of the exceptions in the ordinance. Board members will review that section of the ordinance and email Ms. Durand with their thoughts.

Ms. Durand inquired to the board members with regards to how their townships handle building permits and certificates of occupancy. She has gotten an increasing number of requests for certificates of occupancy that home owners need for their mortgage companies. Discussion was held regarding how these are handled by the various townships.

6. ADJOURNMENT

On motion by Mr. Gust, seconded by Mr. Ellig, and all voting in favor, the meeting was adjourned at 7:55 AM.

A. Public Hearing Items:



 Wadeson Acres Subdivision

Final Plat Report

Title: Wadeson Acres Subdivision
Owner(s): Tim Wadeson
Type of Request: Minor Subdivision (1 lot)
Status: Final Hearing at the December 7, 2017 Planning Commission Meeting

Existing and Proposed Land Use:

The existing land is and will remain Agricultural.

Proposal:

The applicant is seeking approval of a Minor Subdivision to plat 1 lot for residential development.

The said tract contains 8.00 acres of land, more or less. The proposed ownership and maintenance responsibility of the subdivision will be private. The subdivision will use private gravel roads, ditches for storm sewer conveyance, rural water, and an on-site septic sewer system for waste water treatment.

Location:

The tract is located in part of the Northwest Quarter of Section 5 of Walburg Township, South of 42nd Street SE and West of 147th Avenue SE.

Agency Comments

<i>County Engineer</i>	There are no issues with the proposal.
<i>Water Resource District</i>	There are no comments on the proposal.
<i>Cass County Electric Cooperative</i>	No comments have been submitted.
<i>Century Link</i>	Century Link has no comment on the proposal.
<i>Cass Rural Water</i>	Cass Rural Water District has a water line located on the north side of 42nd Street SE immediately across the road from this location. At this point we have not received an application for service for the development. If the owner desires water service from the District we recommend they make an application for service as soon as possible.
<i>North Dakota Department of Transportation</i>	No comments have been submitted.
<i>County Sanitarian</i>	A search of the records does not indicate that a soil test for the purposes of an on-site sewage treatment system has been conducted for this property. A soil test will be required before a septic system can be designed and installed. A permit application is required before construction on the septic system can begin. A reminder that the septic system drainfield must be placed in undisturbed soil. Construction vehicles should not be allowed to drive on this area thereby causing compaction of the soil. Requirement: soil test, permit application, no vehicle traffic on soil for septic system.
<i>Township Chairman</i>	There are no concerns on this proposal.
<i>The City of Fargo</i>	The proposed subdivision is outside of the city limits of Fargo and outside Fargo's extraterritorial jurisdiction. There

	are no comments on this proposal.
<i>The City of West Fargo</i>	No comments have been submitted.
<i>Xcel Energy</i>	Xcel has no comments or concerns.

Staff Analysis:

The subject property is bound by agricultural land and a farmstead to the North and West with no adjacent subdivisions. The remaining portion of the quarter section will remain tillable. The proposed use is consistent with Township Ordinances.

According to FEMA's National Flood Hazard Layer and the FEMA Map Service Center the proposed plat is currently within an area zoned C and is not in a special flood hazard area. The panel number is 3806520025A with an effective date of 05/04/1987. A small wetland designation is noted on the land but poses no issues with development. The access will be constructed on the township gravel road.

A deed restriction will be required to be recorded for land up to 40 acres.

Staff Recommendation:

To accept the findings and recommendations of staff and recommend approval to the County Commission of the proposed application as the proposal meets the goals and objectives of the Cass County Comprehensive Plan, the Cass County Highway Access Plan, the Flood Damage Prevention Ordinance, the Cass County Subdivision Ordinance, and all other applicable regulations.

38 N.

ARLINGTON NORTHERN

6

5

4

7

8

9

ZONE C

18

17

16



APPROXIMATE SCALE IN FEET

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWNSHIP OF
WALBURG,
NORTH DAKOTA
CASS COUNTY

ONLY PANEL PRINTED

COMMUNITY-PANEL NUMBER
380652 0025 A

EFFECTIVE DATE:
MAY 4, 1987



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

WADESON ACRES SUBDIVISION (A MINOR SUBDIVISION)

IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 138 NORTH, RANGE 53 WEST,
FIFTH PRINCIPAL MERIDIAN, WALBURG TOWNSHIP, CASS COUNTY, NORTH DAKOTA

OWNER'S CERTIFICATE

KNOWN ALL MEN BY THESE PRESENTS, TIMOTHY F. WADESON, WHOSE ADDRESS IS 1014 38 1/2 AVENUE WEST, WEST FARGO, NORTH DAKOTA, IS THE OWNER OF A PARCEL OF LAND IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 138 NORTH, RANGE 53 WEST OF THE 5TH PRINCIPLE MERIDIAN, CASS COUNTY, NORTH DAKOTA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE NORTH 87 DEGREES 57 MINUTES 55 SECONDS EAST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER FOR A DISTANCE OF 1565.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 87 DEGREES 57 MINUTES 55 SECONDS EAST, ALONG SAID NORTH LINE FOR A DISTANCE OF 350.00 FEET; THENCE SOUTH 02 DEGREES 02 MINUTES 05 SECONDS EAST, A DISTANCE OF 995.66 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 55 SECONDS WEST, A DISTANCE OF 350.00 FEET; THENCE NORTH 02 DEGREES 02 MINUTES 05 SECONDS WEST, A DISTANCE OF 995.66 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 8.00 ACRES, MORE OR LESS, AND IS SUBJECT TO ANY EASEMENTS, RESERVATIONS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD.

SAID OWNER HAS CAUSED THE ABOVE DESCRIBED PARCEL OF LAND TO BE SURVEYED AND PLATTED AS "WADESON ACRES SUBDIVISION" IN CASS COUNTY, NORTH DAKOTA, AND DOES HEREBY DEDICATE TO THE PRESENT AND FUTURE OWNERS OF THE REMAINDER OF SAID NORTHWEST QUARTER, THE 30.00 FOOT ACCESS EASEMENT AS SHOWN ON THIS PLAT.

OWNER:

TIMOTHY F. WADESON

STATE OF NORTH DAKOTA)
COUNTY OF _____)

I, _____, NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT ON THIS ____ DAY OF _____, 20__ PERSONALLY APPEARED BEFORE ME _____ TO ME KNOW TO BE THE SAME PERSON DESCRIBED IN AND WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGE THAT (HE)(SHE)(THEY) EXECUTED THE SAME FREELY AND VOLUNTARILY.

SURVEYOR'S CERTIFICATE

I, BOYD D. ERBELE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NORTH DAKOTA DO HEREBY CERTIFY THAT THE SURVEY PLAT SHOWN HEREON WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION FROM A GROUND SURVEY AND THAT I HAVE COMPUTED OR ESTABLISHED THE MONUMENTS AND LINES AS SHOWN, THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BOYD D. ERBELE, LS-7986 DATE _____

STATE OF NORTH DAKOTA)
COUNTY OF _____)

I, _____, NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT ON THIS ____ DAY OF _____, 20__ PERSONALLY APPEARED BEFORE ME _____ TO ME KNOW TO BE THE SAME PERSON DESCRIBED IN AND WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGE THAT (HE)(SHE)(THEY) EXECUTED THE SAME FREELY AND VOLUNTARILY.

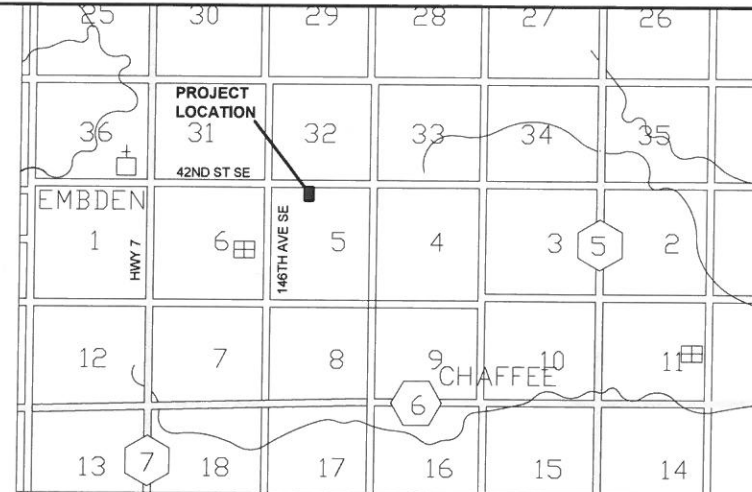
LEGEND

- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- 30' ACCESS EASEMENT 0.69 ACRES
- MONUMENT FOUND
- MONUMENT SET
- CAPPED LS-7986

ENGINEER:
Apex Engineering Group
4733 Amber Valley Parkway South
Fargo, ND 58104

OWNER:
TIMOTHY F. WADESON
1014 38 1/2 AVE WEST
WEST FARGO, ND 58078

FLOOD PLAIN STATEMENT:
TILE 3806520025A
ZONE C AREAS OF MINIMAL FLOODING



VICINITY MAP
NO SCALE

CASS COUNTY ENGINEER:

REVIEWED BY THE CASS COUNTY ENGINEER THIS ____ DAY OF _____, 2017.

JASON BENSON, CASS COUNTY ENGINEER

ATTEST: _____
SECRETARY

CASS COUNTY PLANNING COMMISSION:

REVIEWED BY THE CASS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 2017.

KEN LOUGHEED, CHAIRMAN

ATTEST: _____
SECRETARY

WALBURG TOWNSHIP:

REVIEWED BY WALBURG TOWNSHIP, CASS COUNTY, NORTH DAKOTA, THIS ____ DAY OF _____, 2017.

RYAN ANDERSON, CHAIRMAN

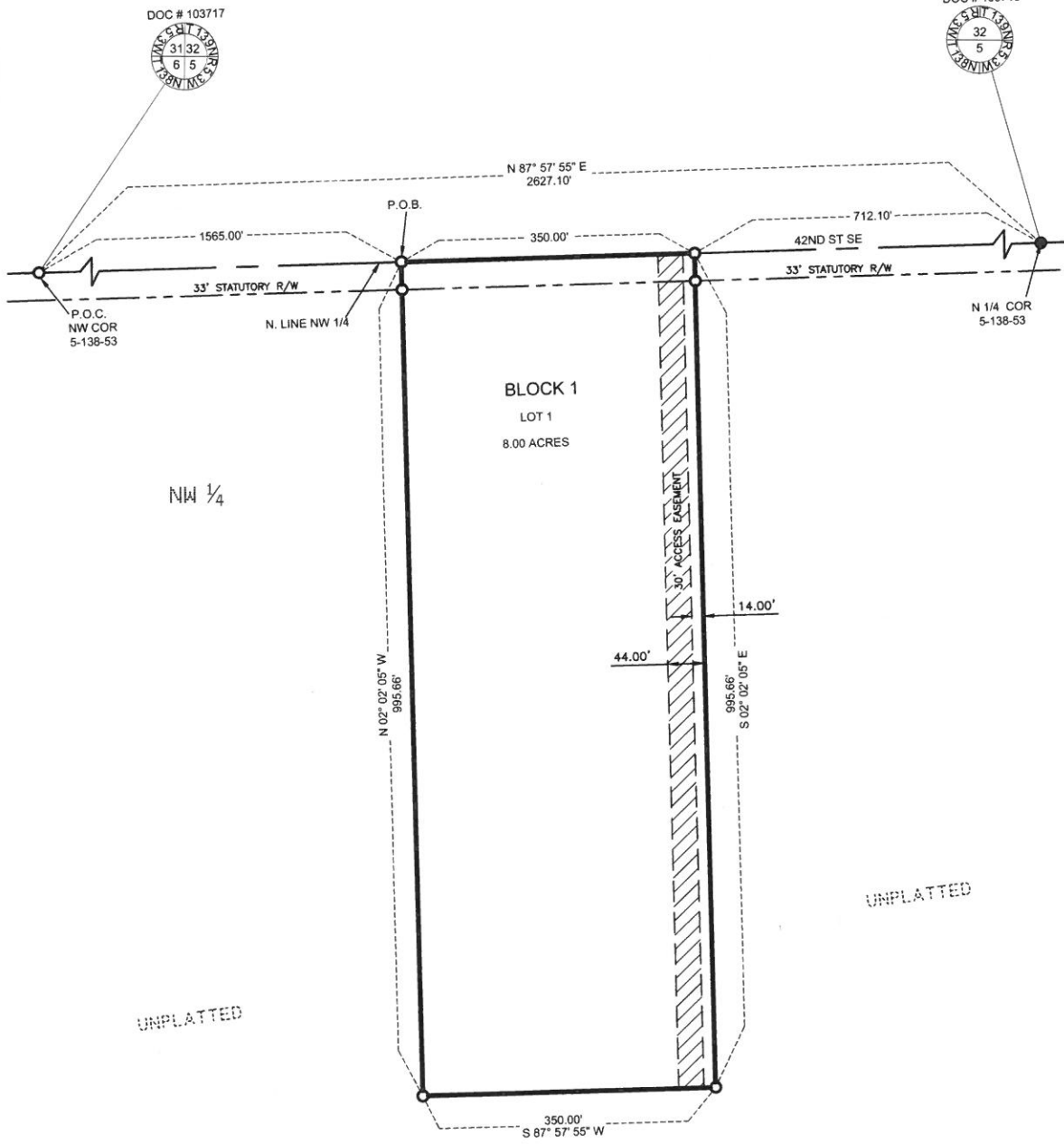
ATTEST: _____
CLERK

CASS COUNTY BOARD OF COMMISSIONER'S APPROVAL:

APPROVED BY CASS COUNTY, NORTH DAKOTA, THIS ____ DAY OF _____, 2017.

CHAD PETERSON, CHAIRMAN

ATTEST: _____

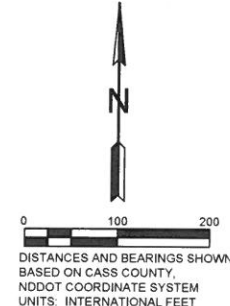


UNPLATTED

UNPLATTED



APEX ENGINEERING GROUP, INC. BISMARCK - DETROIT LAKES - DICKINSON - FARGO



PRELIMINARY PLAT



TIM & DANIELLE WADESON RESIDENCE

EMDEN, ND

****ADDRESS TO BE DETERMINED****

LEGAL DESCRIPTION ON SHEET A-12

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES (2015 IBC) AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CONSTRUCTION SET

DATE: 11.28.17

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.

DRAFTING DISCLAIMER:

DESIGNS & PLANS PROVIDED BY BEJAMIN CUSTOM HOMES, L.L.C. (BCH) ARE CREATED BY A DRAFTSMAN WHO IS NOT CERTIFIED AS AN ARCHITECT OR PROFESSIONAL ENGINEER NOR HAS TRAINING AS EITHER. BCH SPECIFICALLY REPUDIATES ANY LIABILITY WHATSOEVER FOR ERRORS OR DISCREPANCIES OF ANY SORT THAT MAY OCCUR WITHIN THE DRAWINGS. OUR PLANS SHALL BE DRAFTED WITH PARTICULAR ATTENTION TO DETAIL & ACCURACY, HOWEVER, ANY USE OF OUR PLANS WILL BE AT THE RISK OF THE PRIMARY USER. LET IT BE KNOWN THAT WHILE ACCURACY IS OUR PRIMARY OBJECTIVE, IT CANNOT BE GUARANTEED.

DESIGNS & PLANS PROVIDED BY BCH ARE NOT DEEMED AS A SALE OF A GOOD, BUT INSTEAD A PROVIDED AMENITY. THIS SERVICE IS DELIVERED WITHOUT ANY WARRANTY, EVEN IF THEY ARE EXPRESSED OR IMPLIED TO BE IN ANY CIRCUMSTANCE. ANY SUCH CLAIM GUARANTEEING A WARRANTY SHALL IMMEDIATELY BE DEEMED INVALID. RELIANCE BY ANY USER OF THESE PLANS, AND ALL RESPONSIBILITY FOR THE USAGE OF CORRECT STRUCTURAL MATERIALS, SPANS, LOAD BEARING, OR THE APPLICATION OF THE ART OF SCIENCE OF CONSTRUCTION BASED ON THE PRINCIPLE OF MATHEMATICS, AESTHETICS, OR THE PHYSICAL SCIENCE IS THE OBLIGATION OF THE CONTRACTOR, THE OWNER, OR WHOEVER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE DESIGNED STRUCTURE.

BENJAMIN CUSTOM HOMES, L.L.C. ONLY ASSUMES THE AFOREMENTIONED RESPONSIBILITIES IF A CONTRACT IS SIGNED BY THE OWNER TO PROVIDE GENERAL CONTRACTING SERVICES.

CARPENTRY & FRAMING:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- C. ALL STUDS TO BE DF#2 OR BETTER.
- D. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 ROOF SHEATHING SHALL BE 7/16" OSB
 WALL SHEATHING SHALL BE 7/16" OSB.
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- E. ALL FLOOR & ROOF TRUSS SYSTEMS SHALL BE ENGINEERED BY A CERTIFIED MANUFACTURER WITH THE EXCEPTION OF HAND-FRAMED NON-STRUCTURAL COMPONENTS.
- F. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED LUMBER.

PLAN INDEX

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A-4	DESCRIPTION OF CONTRACTED RESPONSIBILITIES (CONTINUED)
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A-7	MAIN FLOOR PLAN
A-8	SECOND FLOOR PLAN
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A-11	SECTIONS, DETAILS, & NOTES
A-12	SITE PLAN

NO.	DESCRIPTION	DATE
1	ADJUSTED SITE PLAN	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE
WADESON RESIDENCE

BENJAMIN
CUSTOM HOMES



DATE:
11/28/2017

SCALE:

SHEET:
A-1

DESCRIPTION OF CONTRACTED RESPONSIBILITIES

IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO VERIFY THE PLANS AND SPECIFICATIONS AND TO NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPANCIES, QUESTIONS, OR CONCERNS WITH THE G.C. AT THE TIME OF BID AND PRIOR TO COMMENCING WORK. ANY ITEMS SHOWN IN/ON THE PLANS AND SPECIFICATIONS WILL NOT BE ELIGIBLE FOR A CHANGE ORDER.

GENERAL CONTRACTOR'S RESPONSIBILITIES:

- A. **OBJECTIVE.** PROVIDE MATERIALS, SCHEDULING, COORDINATION, AND PROJECT MANAGEMENT SERVICES AS REQUIRED TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONSTRUCTION DRAWINGS, AND SPECIFICATIONS.
- B. **QUALITY CONTROL.** ENSURE QUALITY CONTROL THROUGH REGULAR SITE INSPECTIONS BY STAFF MANAGERS. THIS RESPONSIBILITY IMPLIES THAT THE GENERAL CONTRACTOR SHALL HOLD ALL SUBCONTRACTORS & VENDORS ACCOUNTABLE TO COMPLETE THEIR TASKS EFFICIENTLY WITH A HIGH STANDARD OF QUALITY AND DETAIL.
- C. **SITE WASTE CONTROL.** MAINTAIN A CLEAN & ORGANIZED WORK ENVIRONMENT ON ALL JOBSITES BY PROVIDING PROPER BINS, DUMPSTERS, AND/OR TRAILERS FOR ORGANIZED DISPOSAL FOR PARTICIPATING SUBCONTRACTORS. WHEN NECESSARY, THE GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING AN ON-SITE PORTABLE LATRINE.
- D. **APPROVALS.** ACQUIRE THE NECESSARY PERMITS, APPROVALS, AND INSPECTIONS THAT A PROJECT REQUIRES AS PER THE LOCAL JURISDICTION. FURTHERMORE, IT IS THE GENERAL CONTRACTOR'S DUTY TO CONFIRM THAT EACH RESPECTIVE SUBCONTRACTOR IS OBTAINING THE PROPER PERMITS & INSPECTIONS ESSENTIAL TO THE PROJECT'S PROGRESS/COMPLETION.
- E. **CLIENT COMMUNICATION.** IT IS THE EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COMMUNICATE WITH THE CLIENT/OWNER CONCERNING ANY MATTER RELATING TO THE PROJECT. ALL ADJUSTMENTS, CHANGE ORDERS, QUALITY CONCERNS, MATERIAL SELECTIONS, ETC. SHALL BE DISCUSSED BETWEEN THE OWNER & THE GENERAL CONTRACTOR (OR DESIGNATED AGENT). ALL SUBCONTRACTORS ARE TO ANSWER TO THE GENERAL CONTRACTOR ONLY. ALL COMMUNICATION BETWEEN AN OWNER / CLIENT AND A SUBCONTRACTOR MUST BE FACILITATED BY THE GENERAL CONTRACTOR. THERE ARE NO EXCEPTIONS.
- F. **SAFETY.** ENFORCE SAFETY PROCEDURES, INCLUDING (BUT NOT LIMITED TO): TEMPORARY RAILINGS IN OPEN STAIRWAYS, SECURE LADDER / SCAFFOLD POSITIONING, PROPER EQUIPMENT / MACHINERY HANDLING, AND OVERALL SAFE CONSTRUCTION PRACTICES / PROCEDURES. THE GENERAL CONTRACTOR RESERVES THE RIGHT TO CORRECT & ADDRESS ANY UNSAFE BEHAVIORS, PRACTICES, OR PROCEDURES AS NECESSARY. ALL QUALIFIED PARTIES INVOLVED WITH THE PROJECT MUST FOLLOW THE SAFETY MEASURES SET FORTH BY THE GENERAL CONTRACTOR. THERE ARE NO EXCEPTIONS. IGNORANCE OF SAFETY MEASURES OR FAILURE TO RECOGNIZE SAFETY CONCERNS MAY RESULT IN REVOCATION OF CONTRACT AND WITHOLDING OF PAYMENT.
- G. **WARRANTY.** IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SIGNED CONTRACT.

SUBCONTRACTOR'S RESPONSIBILITIES:

EXCAVATOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPANCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR & CONCRETE SUBCONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE GENERAL CONTRACTOR & CONCRETE SUBCONTRACTOR TO ENSURE ACCURACY & CONSISTENCY.
- C. **SITE PREP.** SCRAPE & PRESERVE TOPSOIL AS SITE CONDITIONS ALLOW. IN DOING SO, MAINTAIN A CONTROLLED SITE THAT HAS POSITIVE DRAINAGE AND EROSION CONTROL. INSURE THAT ANY SILT FENCES OR REQUIRED BARRIERS ARE IN PLACE AS PER LOCAL JURISDICTION.
- D. **EXCAVATION.** EXCAVATE THE FOUNDATION OF THIS PROJECT ACCORDING TO THE DRAWINGS WHILE ACCOUNTING FOR THE GRADE ALLOWANCES & ELEVATIONS REQUIRED BY THE LOCAL BUILDING JURISDICTION. COORDINATE WITH PLUMBING SUBCONTRACTOR TO TRENCH-IN SEWER & WATER CONNECTIONS.
- E. **UNUSUAL CIRCUMSTANCE.** REPORT ANY CONCERNS OR UNFORESEEN SITE CONDITIONS DURING EXCAVATION TO THE GENERAL CONTRACTOR SO THEY MAY BE EVALUATED IN AN EFFECTIVE & TIMELY MANNER.
- F. **FILL MATERIAL.** PROVIDE NECESSARY CLASS-FIVE, GRAVEL, TOPSOIL, OR FILL SAND FOR BACKFILL, GRADING, OR UNDERSLAB COMPACTED AREAS.
- G. **BACKFILL.** ALLOW SUFFICIENT CURE-TIME FOR CONCRETE FOUNDATION WALLS PRIOR TO BACKFILL. COORDINATE WITH INVOLVED PARTIES (REFER TO SECT. "B") TO ESTABLISH WHEN THIS PROJECT IS READY FOR BACKFILL, FILL SAND, ETC. PACK BACKFILL IN REGULAR INTERVALS TO PREVENT EXCESSIVE PRESSURE ON FOUNDATION WALLS (HEAVING, CRACKING, OR BOWING).
- H. **GRADING.** ESTABLISH A FINAL GRADE WITH SCRAPED TOPSOIL THAT ALLOWS FOR POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. COORDINATE GRADING SPECIFICS WITH THE GENERAL CONTRACTOR PRIOR TO EXECUTING FINAL GRADE WORK.
- I. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- J. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

CONCRETE SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPANCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR & EXCAVATOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C. & EXCAVATOR TO ENSURE ACCURACY & CONSISTENCY.
- C. **FOUNDATION BASE.** ASSESS SUBGRADE CONDITIONS WITH EXCAVATOR TO ENSURE THE STRUCTURE STANDS ON A SUFFICIENT, COMPACTABLE BASE. IF EXISTING CONDITIONS REVEAL IT IS NECESSARY TO "OVERDIG" TO ESTABLISH A SOLID FOOTING BASE, INFORM THE GENERAL CONTRACTOR AND PROVIDE AN ASSESSMENT WITH UPDATED COSTS.
- D. **FURNISHED MATERIAL & SERVICE.** PROVIDE THE FOLLOWING MATERIALS & SERVICES (INCLUDING, BUT NOT LIMITED TO): FORM-A-DRAIN FOR ALL REQUIRED EXTERIOR FOOTINGS, REBAR REINF., HOOKED DOWNELS, TIES, ANCHOR BOLTS, 6MIL POLY (UNDER SLAB VAPOR BARRIER), CONCRETE (SEE SECT. "D" FOR PSI REQUIREMENTS), FEAROCK, FILL SAND, LUMBER (BRACING, STRIP FOOTINGS, MISC, ETC.), WINDOW WELLS (POURED OR METAL), FASTENERS, FOUNDATION WEATHERPROOFER APPLIED TO EXTERIOR OF MAIN BUILDING ENVELOPE, RIGID FOAM INSULATION (GLUED ONTO FOUNDATION "WHEN CALLED OUT BY G.C.") FRAMED WINDOW & DOOR BUCKS (TRTD. LUMBER "VERIFY R.O.'S W.G.C."), AND SLEEVES FOR THROUGH-WALL PLUMBING APPLICATIONS.
- E. **CONC. DENSITY.** PSI STANDARDS MAY VARY AS PER LOCAL CODE JURISDICTION. PLEASE VERIFY STANDARDS PER PROJECT. IT IS THE DISTINCT RESPONSIBILITY OF THE CONCRETE SUBCONTRACTOR TO ENSURE THE PROPER PSI RATED CONCRETE IS POURED PER CAST-IN-PLACE ELEMENT OF THE STRUCTURE (E.G. FOOTINGS, FOUNDATION WALLS, SLABS, ETC.).
- F. **REINFORCEMENT.** REBAR REINFORCEMENT MUST BE INSTALLED AS PER LOCAL CODE JURISDICTION REQUIREMENTS, ESPECIALLY IN FLOOD PRONE AREAS WHERE TIGHTER SPACING IS REQUIRED. IT IS THE RESPONSIBILITY OF THE CONCRETE SUB TO RESEARCH & IMPLEMENT THE REQUIRED FOUNDATION SYSTEM AS PER THE LOCAL CODE JURISDICTION.
- G. **CRACKING & FISSURES.** APPLY CURING COMPOUNDS, CUT CONTROL JOINTS, OR USE OTHER PROVEN METHODS PRODUCTS WHEN NECESSARY TO PREVENT COSMETIC SURFACE FISSURES IN POURED CONCRETE SLABS. THE CONCRETE SUBCONTRACTOR ASSUMES NO RESPONSIBILITY FOR COSMETIC SURFACE FISSURES IN SLABS THAT ARE RELATED TO WEATHER, SOIL SETTling, OR OTHER NATURAL CAUSES. HOWEVER, THE CONCRETE SUBCONTRACTOR IS EXPECTED TO TAKE MEASURES WHERE POSSIBLE TO PREVENT SURFACE FISSURES OR CRACKS.
- H. **INCLEMENT WEATHER.** USE ADDITIVES (E.G. CHLORIDE) FOR COLD WEATHER CONCRETE APPLICATIONS. TAKE NECESSARY MEASURES TO PROTECT FRESHLY POURED EXPOSED CONCRETE ELEMENTS FROM UNFAVORABLE WEATHER CONDITIONS, SUCH AS: RAIN, SLEET, BELOW FREEZING TEMPERATURES, OR SNOW.
- I. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- J. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

FRAMING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPANCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C. TO ENSURE ACCURACY & CONSISTENCY.
- C. **FURNISHED MATERIAL & SERVICE.** THE FRAMER IS EXPECTED TO SUPPLY THEIR OWN: POWER TOOLS, HAND TOOLS, LADDERS, TELEHANDLER / LIFT, PNEUMATIC COMPRESSORS, FRAMING NAILERS, STAPLERS, FASTENERS, EXTENSION CORDS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE PROPER LUMBER, TRUSSES, BRACKETS, HANGERS, WINDOWS, DOORS, HOUSEWRAPS, SEALANTS, ETC. THAT ARE NECESSARY COMPONENTS FOR THE ASSEMBLY OF THE STRUCTURE.
- D. **OBLIGATIONS.** THE PRIMARY DUTY OF THE FRAMING SUBCONTRACTOR IS TO CONSTRUCT THE STRUCTURAL COMPONENTS OF THE BUILD IN ACCORDANCE WITH THE "CONSTRUCTION SET" OF DRAWINGS & TRUSS SHOP DRAWINGS PROVIDED BY THE GENERAL CONTRACTOR. WORK TO BE PERFORMED BY THE FRAMER INCLUDES: CONSTRUCTING WALLS, OPENINGS, TRUSS ASSEMBLIES, HANGERS, BEAMS, COLUMNS, FURRING WALLS, APPLY HOUSEWRAP & TAPE, INSTALL EXTERIOR WINDOWS & DOORS WITH THE PROPER FLASHING & SEALANTS, AND DECK JOIST SUBFRAMING. IT IS THE OBLIGATION OF THE FRAMER TO CLOSELY STUDY THE NOTES, DIMENSIONS, AND DETAILS THOROUGHLY. PLEASE BRING ANY DISCREPANCIES DISCOVERED IN THE DRAWING TO THE ATTENTION OF THE GENERAL CONTRACTOR IMMEDIATELY SO THAT THEY MAY BE ADDRESSED AND REVISED. ADDITIONALLY, IT IS ESSENTIAL FOR THE FRAMER TO CONSTRUCT THE STRUCTURE IN A SAFE AND EFFICIENT MANNER IN ORDER TO MAINTAIN THE PACE SET FORTH BY THE SCHEDULE ISSUED BY THE G.C. THE FRAMER IS EXPECTED TO KEEP THE PROJECT MANAGER / SUPERINTENDENT INFORMED OF THE PROJECT'S STATUS IN REGULAR INTERVALS AS THE PROJECT PROGRESSES. THE G.C. RESERVES THE RIGHT TO PERIODICALLY PERFORM CHECKS FOR QUALITY CONTROL.

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- E. **BACKING, BLOCKING, & MISC TASKS.** THE GENERAL CONTRACTOR SPECIFICALLY REQUESTS THAT THE FRAMER PAYS PARTICULAR ATTENTION TO CONSTRUCTING THE STRUCTURE WITH CAREFUL DETAIL TO BACKERS, BLOCKING, & MISC ITEMS. EXAMPLES OF AREAS REQUIRING SPECIAL ATTENTION INCLUDE, (BUT ARE NOT LIMITED TO) THE FOLLOWING: FASTEN 1X PINE BOARDS TO THE PERIMETER OF EXTERIOR DOORS & WINDOWS FOR METAL WRAPS (IF APPLICABLE), FASTEN 2X RIBBON/TRANSITION BOARDS FOR METAL WRAPS (IF APPLICABLE), BUILD STEPS BETWEEN HOUSE & GARAGE, INSTALL OSB INSULATION BAFFLES BETWEEN PORCH ATTIC & LIVING SPACE ATTIC (IF APPLICABLE), INSTALL SUFFICIENT CONTINUOUS LATERAL BRACING (CLB'S) AS CALLED OUT ON TRUSS DRAWINGS, PROPER PERPENDICULAR FLOOR TRUSS BRACING ON TRUSSES RUNNING PARALLEL WITH EXTERIOR WALL (BRACED ON FIRST TWO TRUSS SPACES, TOP & BOTTOM, @ 48" O.C. ("VERIFY BRACING METHOD AS PER LOCAL JURISDICTION")), FRAME OUT FIREPLACES ("VERIFY R.O. W.G.C."), INSTALL BACKING SURROUNDING TUBS & SHOWERS, INSTALL BACKING BETWEEN STUD FRAMING FOR HANDRAILING HARDWARE, INSTALL SUFFICIENT SHEETROCK BACKING THROUGHOUT, APPLY 7/16" OSB EXTERIOR SHEATHING TO THE OUTSIDE OF THE GARAGE/HOUSE SHARED WALL, INSTALL ALL POCKET DOOR FRAMES, INSTALL BLOCKING BETWEEN STUDS ON TALL-WALLS OR VAULTED END WALLS FOR INSULATION BACKING, FRAME GARAGE DOOR BACKING ON THE INTERIOR OF THE OVERHEAD DOOR FOR RAILING ASSEMBLY, CONSTRUCT ATTIC ACCESS HATCHES AS INDICATED IN THE HOME & GARAGE, MISC BACKING FOR TONEL BARS ETC (WHERE INDICATED BY G.C.), AND SOFFIT BACKING FOR CAN LIGHTS IN PORCH AREAS OR LONG OVERHANGS.
- F. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE FRAMER TO ENSURE THAT ALL WORK IS UP TO CODE. THE G.C. IS RESPONSIBLE FOR ARRANGING THE FRAMING INSPECTION AT THE APPROPRIATE TIME. THE G.C. RESERVES THE RIGHT TO REQUEST THE FRAMING SUBCONTRACTOR TO RETURN TO THE PROJECT AND CORRECT ANY ITEMS THAT DID NOT PASS THE INSPECTION.
- G. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- H. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

ELECTRICAL SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. PROVIDE PRICING FOR UNDERGROUND TRENCHING & METER HOOKUP BASED ON THE SITE LAYOUT PROVIDED WITH THE PLAN. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPANCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C. TO ENSURE ACCURACY & CONSISTENCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING PLUMBING & HVAC ROUGH-INS IN A MANNER WHERE UTILITIES ARE INSTALLED IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: TEMPORARY POWER FOR CONSTRUCTION USE, ARRANGING THE TRENCHING OF UNDERGROUND POWER CABLES FROM SERVICE BOX TO THE STRUCTURE, ROUGHING-IN WIRING ON ALL (INTERIOR & EXTERIOR) LIGHT FIXTURE BOXES, OUTLET BOXES, JUNCTION BOXES, CAN LIGHTS, FIRE/CO2 ALARMS, SERVICE PANELS, DOOR BELLS, ETC. AGREED UPON IN THE CONTRACT PROPOSAL AND ARRANGED IN CAD DRAWINGS AND VERIFIED DURING AN ON-SITE WALK-THROUGH WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE ELECTRICIAN TO TRIM OUT ALL LIGHT FIXTURES WITH OWNER FURNISHED PRODUCTS AS WELL AS TO TRIM OUT ALL OUTLETS OR OTHER ELECTRICAL COMPONENTS.
- D. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE ELECTRICIAN TO ENSURE THAT ALL INSTALLED OR ROUGHED-IN ELEMENTS ARE UP TO CODE AND INSPECTED ACCORDINGLY WITH THE APPROPRIATE LOCAL OR STATE JURISDICTION.
- E. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- F. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

(CONTINUED ON SHEET A-3)

NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11/28/17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
**TIM & DANIELLE
WADESON RESIDENCE**

**BENJAMIN
CUSTOM HOMES**

DATE:
11/28/2017

SCALE:

SHEET:
A-2

PLUMBING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING HOOKUPS FOR: CITY SEWER & WATER (OR SEPTIC & RURAL WATER/WELL). IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING ELECTRICAL & HVAC ROUGH-INS IN A MANNER WHERE UTILITIES ARE INSTALLED IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: PVC DRAIN & VENT RUNS, PEX LINES AND SOLDERED COPPER CONNECTIONS FOR HOT & COLD WATER SUPPLY, BOXED (OR OTHERWISE, AS PER PLAN) GARAGE FLOOR DRAINS, STANDARD IN-FLOOR DRAINS, UNDERSLAB ROUGH-INS FOR DRAINS & RADON MITIGATION, PREFABRICATED TUB/ SHOWER UNITS WITH INSTALLATION, SINK INSTALLATION, TOILET INSTALLATION, FREEZE-PROOF EXTERIOR SPIGOTS WITH INSTALLATION, HOT WATER LINE INSULATION (AS REQ.) ETC., AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE PLUMBER TO TRIM OUT ALL PLUMBING FIXTURES WITH STANDARD OR OWNER FURNISHED PRODUCTS.
- D. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE PLUMBER TO ENSURE THAT ALL INSTALLED OR ROUGHED-IN ELEMENTS ARE UP TO CODE AND INSPECTED ACCORDINGLY WITH THE APPROPRIATE LOCAL OR STATE JURISDICTION.
- E. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- F. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

HEATING & COOLING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING HOOKUPS FOR: GAS LINES OR PROPANE LINES. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING ELECTRICAL & PLUMBING ROUGH-INS IN A MANNER WHERE UTILITIES ARE INSTALLED IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE HVAC SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: TIN, FLEXIBLE, OR INSULATED DUCT CHASES FOR AIR SUPPLY & RETURN AS REQUIRED, FURNACE (AS SELECTED) WITH INSTALLATION, HYDRONIC BOILER SYSTEMS (IF APPLICABLE), GAS/ PROPANE FIREPLACE UNITS WITH TERMINATION KITS & INSTALLATION, INSTALLATION OF RANGE HOODS, INSTALLATION OF CEILING FANS WITH VENTILATION & TERMINATION KITS, INSTALLATION OF DRYER UNIT VENTILATION WITH TERMINATION, ROUGH-INS FOR GAS/PROPANE LINES, UNIT HOOKUP OF GAS/PROPANE LINES TO FIREPLACE, BOILER, OR FURNACE UNITS, INSTALLATION OF AIR EXCHANGER UNITS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE HEATING & COOLING CONTRACTOR TO TRIM OUT ALL VENTS, RETURNS, ETC., WITH STANDARD OR G.C. FURNISHED PRODUCTS.
- D. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE HEATING & COOLING SUBCONTRACTOR TO ENSURE THAT ALL INSTALLED OR ROUGHED-IN ELEMENTS ARE UP TO CODE AND INSPECTED ACCORDINGLY WITH THE APPROPRIATE LOCAL OR STATE JURISDICTION.
- E. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT

INSULATION SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING FOR ALTERNATIVE METHODS OF INSULATION (E.G. SPRAY-FOAM INSULATION) AS WELL AS SOUND PROOF INSULATION UPON THE REQUEST OF THE G.C. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE INSULATION PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.

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- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE INSULATION SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: BATTED FIBERGLASS INSULATION FOR WALL CAVITIES WITH INSTALLATION, BLOWN-IN FIBERGLASS ATTIC INSULATION, SPRAYED-FOAM RIM JOIST INSULATION, ATTIC VENTILATION BAFFLES, SOUND-PROOF INSULATION (IF APPLICABLE), SPRAY-FOAM ENCAPSULATED BUILDING ENVELOPES (IF APPLICABLE), ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE INSULATION CONTRACTOR TO ONLY INSTALL INSULATION, POLY, AND BAFFLES THAT MEET OR EXCEED THE MINIMUM CODE REQUIREMENT FOR THE SUBSEQUENT JURISDICTION.
- D. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE INSULATION SUBCONTRACTOR TO ENSURE THAT ALL INSTALLED OR ROUGHED-IN ELEMENTS ARE UP TO CODE AND INSPECTED ACCORDINGLY WITH THE APPROPRIATE LOCAL OR STATE JURISDICTION.
- E. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

DRYWALL HANGING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE DRYWALL HANGING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: FASTNERS, LADDERS, SCAFFOLDING, DRYWALL LIFTS, SCREW GUNS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. THE G.C. WILL BE RESPONSIBLE FOR PROVIDING THE ACTUAL DRYWALL PRODUCT.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

DRYWALL FINISHING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING TO PAINT THE WALLS AND CEILINGS WITH TWO COATS OF THE SAME COLOR. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE DRYWALL PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE DRYWALL FINISHING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: LADDERS, TEXTURE MACHINE, KNIVES, TOOLS, TAPE, MUD, PAINT (IF APPLICABLE), ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

PAINTING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE DRYWALL FINISH PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE PAINTING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: PAINT, LADDERS, SCAFFOLDING, BRUSHES, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.

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- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

FLOORING & TILE INSTALLATION SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE FINISH PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE FLOORING AND TILE INSTALLATION SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: UNDERLAYMENT, CARPET, LAMINATE, HARDWOOD, TILE (AS APPLICABLE), ADHESIVES, FASTNERS, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

FLOORING & TILE INSTALLATION SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE FINISH PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE FLOORING AND TILE INSTALLATION SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: UNDERLAYMENT, CARPET, LAMINATE, HARDWOOD, TILE (AS APPLICABLE), ADHESIVES, FASTNERS, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

TRIM & MILLWORK SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANIOUSLY WITH THE FINISH PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE TRIM AND MILLWORK SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: FASTNERS, NAIL PUTTY, LADDERS, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

(CONTINUED ON SHEET A-4)

NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE



DATE:
11/28/2017

SCALE:

SHEET:
A-3

CABINET INSTALLATION SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING FOR COUNTER TOPS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANEOUSLY WITH THE FINISH PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE CABINET INSTALLATION SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: CABINETS, SHIMS, FASTNERS, LADDERS, TOOLS, ADHESIVES, TEMPLATING, COUNTER TOPS (IF APPLICABLE), ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

ROOFING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANEOUSLY WITH THE FRAMING PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE ROOFING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: FASTNERS, LIFTS, LADDERS, SAFETY HARNESSSES, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. G.C. TO PROVIDE FELT PRODUCTS, SHINGLES, VENTS, ETC.
- D. **CODE COMPLIANCE.** IT IS THE OBLIGATION OF THE ROOFING SUBCONTRACTOR TO ENSURE THAT ALL INSTALLED ELEMENTS ARE UP TO CODE AND INSPECTED ACCORDINGLY WITH THE APPROPRIATE LOCAL OR STATE JURISDICTION.
- E. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- F. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

SIDING SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. SIDING PRODUCT ASSUMED TO BE PROVIDED BY THE G.C. UNLESS OTHERWISE NOTED. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANEOUSLY WITH THE INSULATION PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE SIDING SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: SCAFFOLDING, LIFTS, LADDERS, BREAKS, FASTNERS, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE INSULATION CONTRACTOR TO ONLY INSTALL INSULATION, POLY, AND BAFFLES THAT MEET OR EXCEED THE MINIMUM CODE REQUIREMENT FOR THE SUBSEQUENT JURISDICTION.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

MASONRY SUBCONTRACTOR:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE AN EFFICIENT TIMELINE THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY. COORDINATE WITH FELLOW SUBCONTRACTORS CONDUCTING WORK SIMULTANEOUSLY WITH THE INSULATION PROCESS TO ENSURE ALL PARTIES WORKING ON THEIR RESPECTIVE TRADE ACT IN CONGRUENCE.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE MASONRY SUBCONTRACTOR TO PROVIDE MATERIALS & SERVICES INCLUDING, (BUT NOT LIMITED TO) THE FOLLOWING: SCAFFOLDING, TENTING, LADDERS, WIRE MESH, FASTNERS, MORTAR, MUD, TOOLS, ETC., THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER.
- D. **FINAL WALK-THROUGH.** PRIOR TO BEING RELEASED & PAID FOR THIS PROJECT, THE GENERAL CONTRACTOR REQUIRES THAT A WALK-THROUGH BE CONDUCTED WITH A PROJECT MANAGER / FIELD SUPERINTENDENT TO ENSURE THAT ALL TASKS ARE COMPLETED AS SPECIFIED.
- E. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO PROVIDE A ONE YEAR WARRANTY ON ALL LABOR, AND WARRANTIES FOR ANY MATERIAL/EQUIPMENT PROVIDED AS PER MANUFACTURERS SPECIFICATIONS (AS APPLICABLE) FOR THE COMPLETE SCOPE OF WORK AS DETAILED IN THE SUBCONTRACT.

VENDORS:

- A. **BIDDING/ESTIMATING.** PROVIDE ACCURATE COST ESTIMATES, MATERIAL TAKE-OFFS, AND DELIVERY/PRODUCTION TIME LINES TO THE GENERAL CONTRACTOR BASED ON PLANS AND SPECIFICATIONS. ALSO, BE SURE TO PROVIDE PRICING FOR ALTERNATIVE MATERIALS AND METHODS UPON THE REQUEST OF THE G.C. IMMEDIATELY NOTIFY THE G.C. ANYTIME THERE IS AN UNFORESEEN CONDITION THAT MAY REQUIRE ADDITIONAL COST. VERIFY ANY DISCREPENCIES, QUESTIONS, OR CONCERNS WITH THE G.C. PRIOR TO COMMENCING WORK.
- B. **COORDINATION.** CONSULT WITH THE CLIENTS & GENERAL CONTRACTOR FOR MATERIAL SELECTIONS AS NECESSARY. COMMUNICATE WITH THE GENERAL CONTRACTOR TO SYNCHRONIZE DELIVERY OF MATERIALS THAT FITS WITHIN THE PROJECT SCHEDULE. IN THIS PROCESS, COORDINATE PROJECT DETAILS & SPECS WITH THE G.C TO ENSURE ACCURACY & CONSISTANCY.
- C. **FURNISHED MATERIAL & SERVICE.** IT IS THE EXPRESSED RESPONSIBILITY OF THE VENDOR TO PROVIDE MATERIALS & SERVICES THAT ARE AGREED UPON IN THE CONTRACT PROPOSAL WITH THE GENERAL CONTRACTOR & HOMEOWNER. FURTHERMORE, IT IS THE DUTY OF THE VENDOR TO PROVIDE MATERIALS THAT MEET OR EXCEED THE MINIMUM CODE REQUIREMENT FOR THE SUBSEQUENT JURISDICTION.
- D. **WARRANTY.** IT IS THE RESPONSIBILITY OF ALL VENDORS TO PROVIDE WARRANTIES FOR ALL MATERIALS, PRODUCTS, OR EQUIPMENT SUPPLIED AS PER MANUFACTURER SPECIFICATIONS.

ARCHITECTURAL ABBREVIATION KEY

#	Pound OR Number	ELEG	Electrical	MTL	Metal
&	And	ELEV	Elevator or Elevation	MU	Mulled Unit
@	At	E.P.D.M.	Ethylene Propylene Diene M-Glass (Roofing)	N.I.C.	Not In Contract
ABV	Above	E.M.	Electrical Meter	NO	Number
A.C.T.	Acoustic Ceiling Tile	E.P.	Electrical Panel	NOM	Nominal
A/C	Air Conditioner	EQ	Equal	O.C.	On Center
A.D.	Area Drain	EXIST	Existing	O.H. DR.	Overhead Door
A.E.	HRV Air Exchanger	EXP JT	Expansion Joint	O.H.	Overhead
A.F.F.	Above Finished Floor	EXT	Exterior	OSB	Oriented Strand Board
ALUM.	Aluminum	F.F.	Finished Floor	OVH	Overhang
APPROX	Approximately	F.D.	Floor Drain or Fire Department	OZ	Ounce
ANOD	Anodized	F.E.C.	Fire Extinguisher Cabinet	P.C.C.	Pre-Cast Concrete
BSMT	Basement	FIXT	Fixture	PLUMB	Plumbing
BRG	Bearing	FLR	Floor	PLYD	Plywood
BYND	Beyond	F.M.	Filled Metal	P.T.	Pressure Treated
BOT	Bottom	F.O.	Face Of	PNT	Paint or Painted
GANT	Gantliver	FNDN	Foundation	PVC	Polyvinyl Chloride
GSMNT	Gasement	F.P.	Fireplace	RBR	Rubber
C.I.P.	Cast In Place	FUT	Future	R.C.P.	Reflected Ceiling Plan
CHNL	Channel	FURN	Furnace	R.D.	Roof Drain
C.J.	Control Joint	GA	Gauge	REQ	Required
CLG	Celling	G.C.	General Contractor	R.I.	Rough-In
CLR	Clear	GALV	Galvanized	RM	Room
C.M.U.	Concrete Masonry Unit	GRN TRTD	Green Treated	R.O.	Rough-In
COL	Column	G.W.B.	Gypsum Wall Board	S.H.	Single Hung
COMPR	Compressible	H.C.	Hollow Core	SIM	Similar
CONC	Concrete OR Concealed	HT.	Height	SLDR	Slider
CONT	Continuous	HI	High	SPEC	Specified or Specification
C.P.T.	Carpet	H.M.	Hollow Metal	S.P.	Sump Pump
C.T.	Ceramic Tile	H.P.	High Point	SPK	Sprinkler or Speaker
CTYD	Courtyard	HR	Hour	SSTL	Stainless Steel
D	Dryer	H.R.V.	Heat Recovery Ventilator	S.T.C.	Sound Transmission Coefficient
DBL	Double	H.V.A.C.	Heating, Ventilating, & Air Conditioning	STL	Steel
D.C.R.	Description of Contracted	I.L.O.	In Lieu Of	STRUCT	Structure or Structural
DEMO	Demolish or Demolition	INSUL	Insulated or Insulation	S.R.	Sheetrock
D.H.	Double Hung	INT	Interior	T&G	Tongue And Groove
DIA	Diameter	LIN	Linen	TELE	Telephone
DIM	Dimension	LO	Low	TLT	Toilet
DIMS	Dimensions	MAX	Maximum	T.M.E.	To Match Existing
DN	Down	M.O.	Masonry Opening	T.O.	Top Of
DR	Door	MECH	Mechanical	T.O.C.	Top Of Concrete
DYNG	Drauing	MEMBR	Membrane	T.O.F.	Top Of Foundation
D.Z.	Drop Zone	MICRO	Microwave	T.O.S.	Top Of Steel
EA	Each	MIN	Minimum	T.P.D.	Toilet Paper Dispenser
E.J.	Expansion Joint	M.R.G.W.B.	Moisture-Resistant Gypsum Wall Board	T/D	Telephone/Data
EL	Elevation			TYP	Typical

ARCHITECTURAL ABBREVIATION KEY (CONTINUED)

U.N.O.	Unless Noted Otherwise
U/S	Underside
V.I.F.	Verify In Field
V.P.	Vision Panel
W	With
W	Washer
WD	Wood
WD	Washer & Dryer Stackable
W.H.	Water Heater
W.I.C.	Walk-In Closet
WIN	Window

GENERAL DRAWING CONVENTIONS & SYMBOLS

- INTERIOR ELEVATION MARKER WITH MATCHING LABEL & SHEET REFERENCE
- DATUM POINT: INDICATES ELEVATION OR DRAWING LABELS
- ROOF PITCH INDICATOR
- SWING DIRECTION INDICATOR FOR WINDOW OR DOOR OPERATION
- BOX STYLE FLOOR DRAIN
- TYPICAL 4" FLOOR DRAIN
- FREEZE-PROOF EXTERIOR HYDRANT (IF LOCATION IS SPECIFIED)
- CEILING MOUNTED GAS HOOKUP (IF LOCATION IS SPECIFIED)
- BREAK LINE
- CENTER LINE
- REVISION CLOUD
- NOMINAL FRAMING MATERIAL IN SECTION OR DETAIL VIEW
- FIBERGLASS INSULATION IN SECTION OR DETAIL VIEW
- SPRAYED-FOAM INSULATION IN SECTION OR DETAIL VIEW
- BLOWN-IN INSULATION IN SECTION OR DETAIL VIEW
- CONCRETE MASONRY UNIT (CMU) IN SECTION OR DETAIL VIEW
- FRAMED WALL IN PLAN VIEW
- CAST-IN-PLACE CONCRETE FOUNDATION WALL
- CONCRETE FOOTING
- GRANULAR FILL (E.G. SAND, CLASS 5, ETC)
- ON-SITE SOIL / EARTH USED FOR BACKFILL

NO.	DESCRIPTION	DATE
1	ADJUSTED SITE PLAN	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE



DATE:
11/28/2017

SCALE:

SHEET:
A-4

CONSTRUCTION SET
DATE: 11.28.17
 IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.

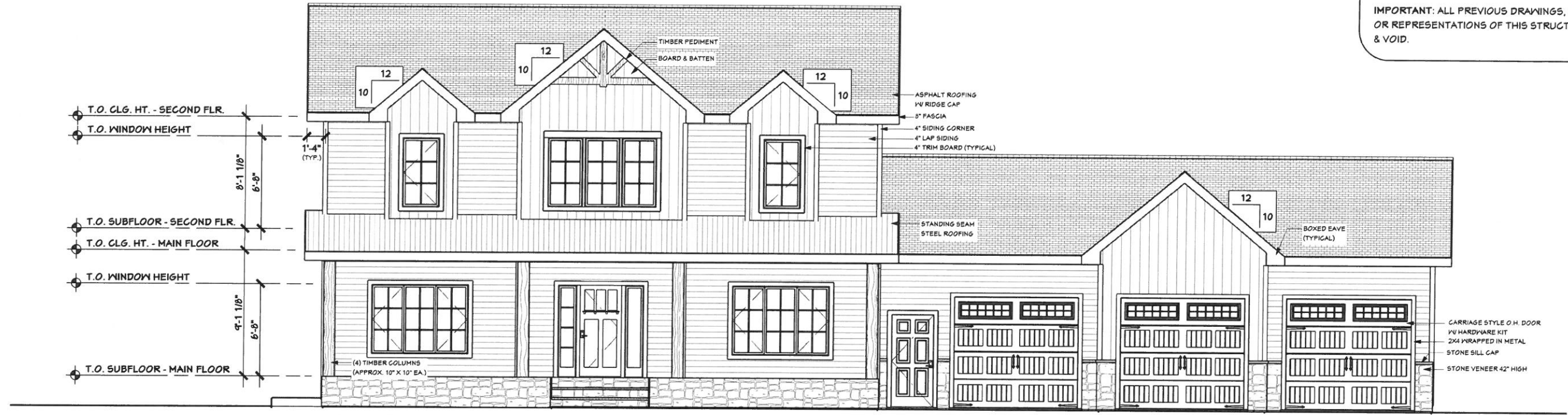
NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

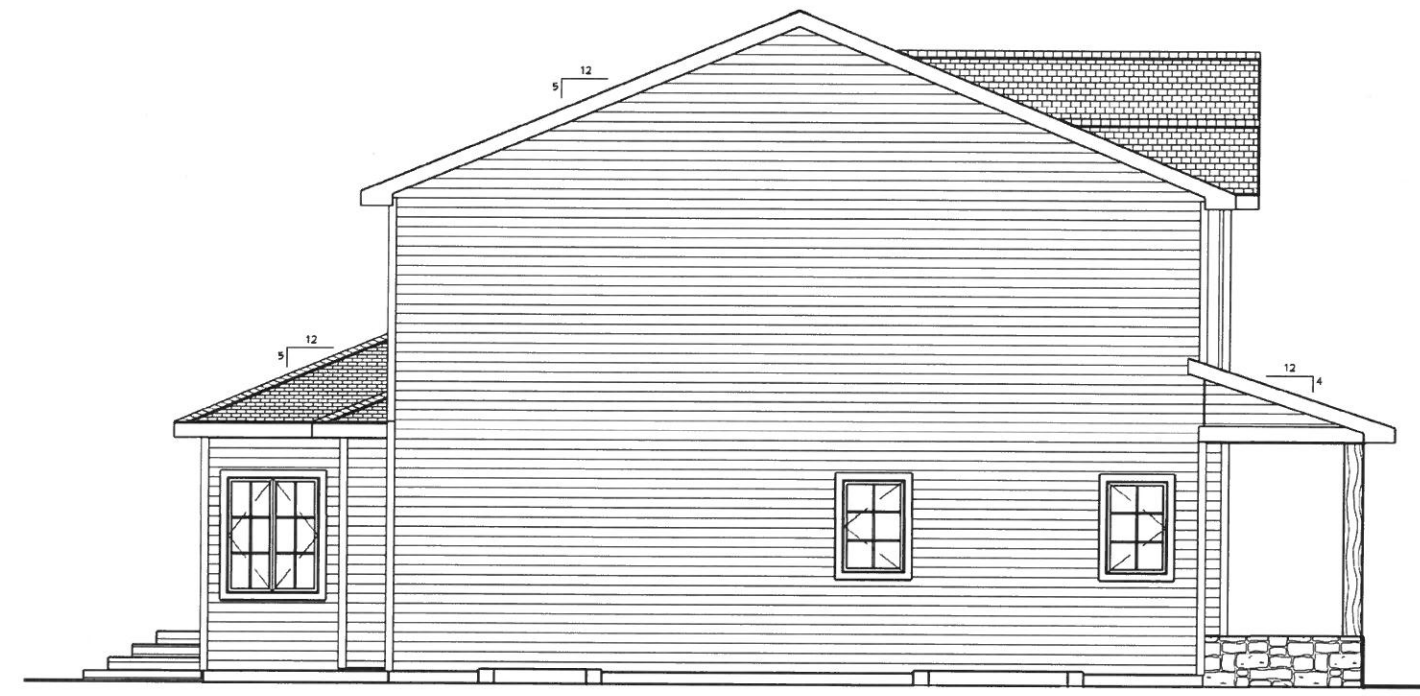
CLIENT:
TIM & DANIELLE WADESON RESIDENCE



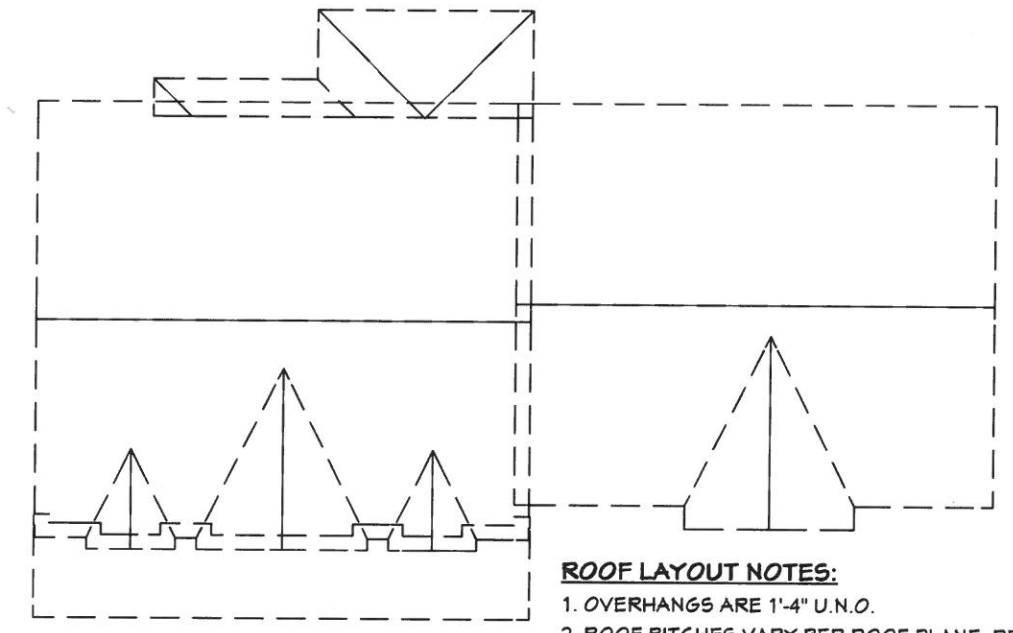
DATE:
 11/28/2017
 SCALE:
 SHEET:
A-5



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



ROOF LAYOUT
 (NOT TO SCALE)

- ROOF LAYOUT NOTES:**
- OVERHANGS ARE 1'-4" U.N.O.
 - ROOF PITCHES VARY PER ROOF PLANE. REFERENCE ELEVATIONS & ROOF LAYOUT FOR ALTERNATING PITCH INFORMATION.
 - FOR TRUSS LAYOUTS & DETAILS, REFER TO TRUSS DRAWINGS PROVIDED BY THE MANUFACTURER AS PER THIS DESIGN.
 - THIS REPRESENTATION OF THE ROOF LAYOUT IS FOR REFERENCE ONLY AND IS NOT TO SCALE.

CONSTRUCTION SET

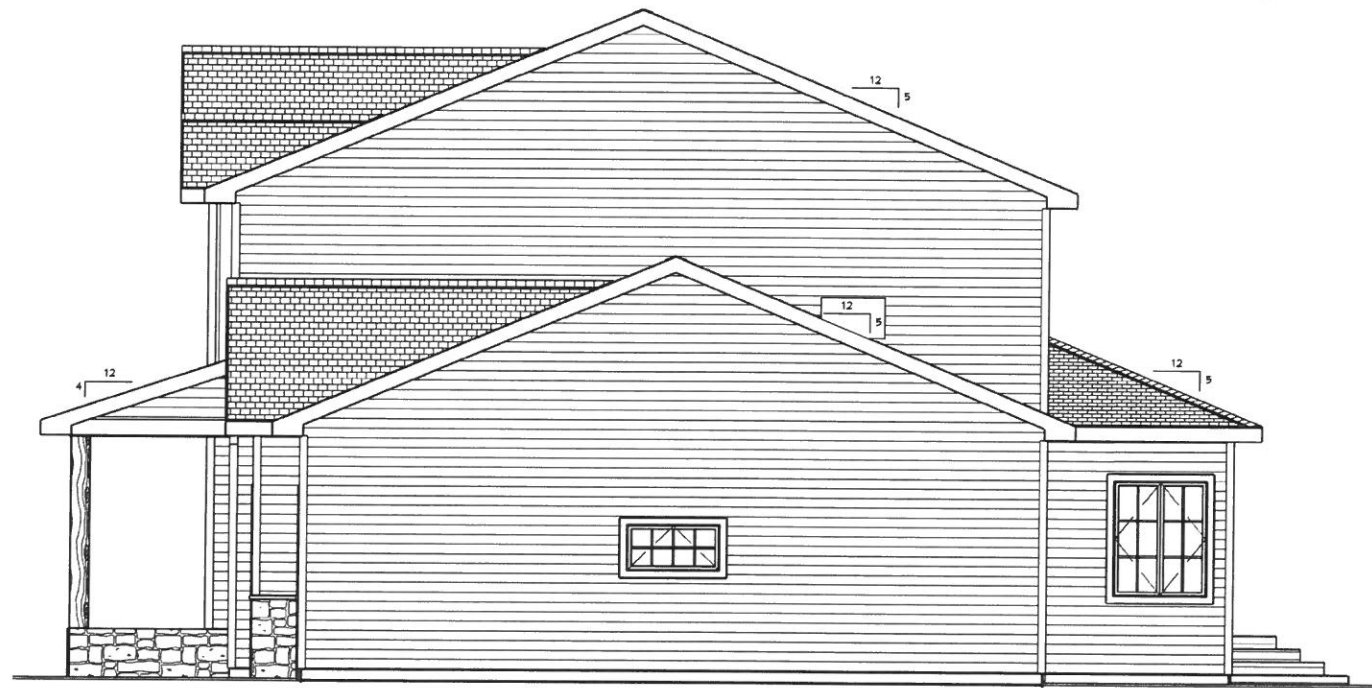
DATE: 11.28.17

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS,
OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL
& VOID.



REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
**TIM & DANIELLE
WADESON RESIDENCE**



DATE:
11/28/2017

SCALE:

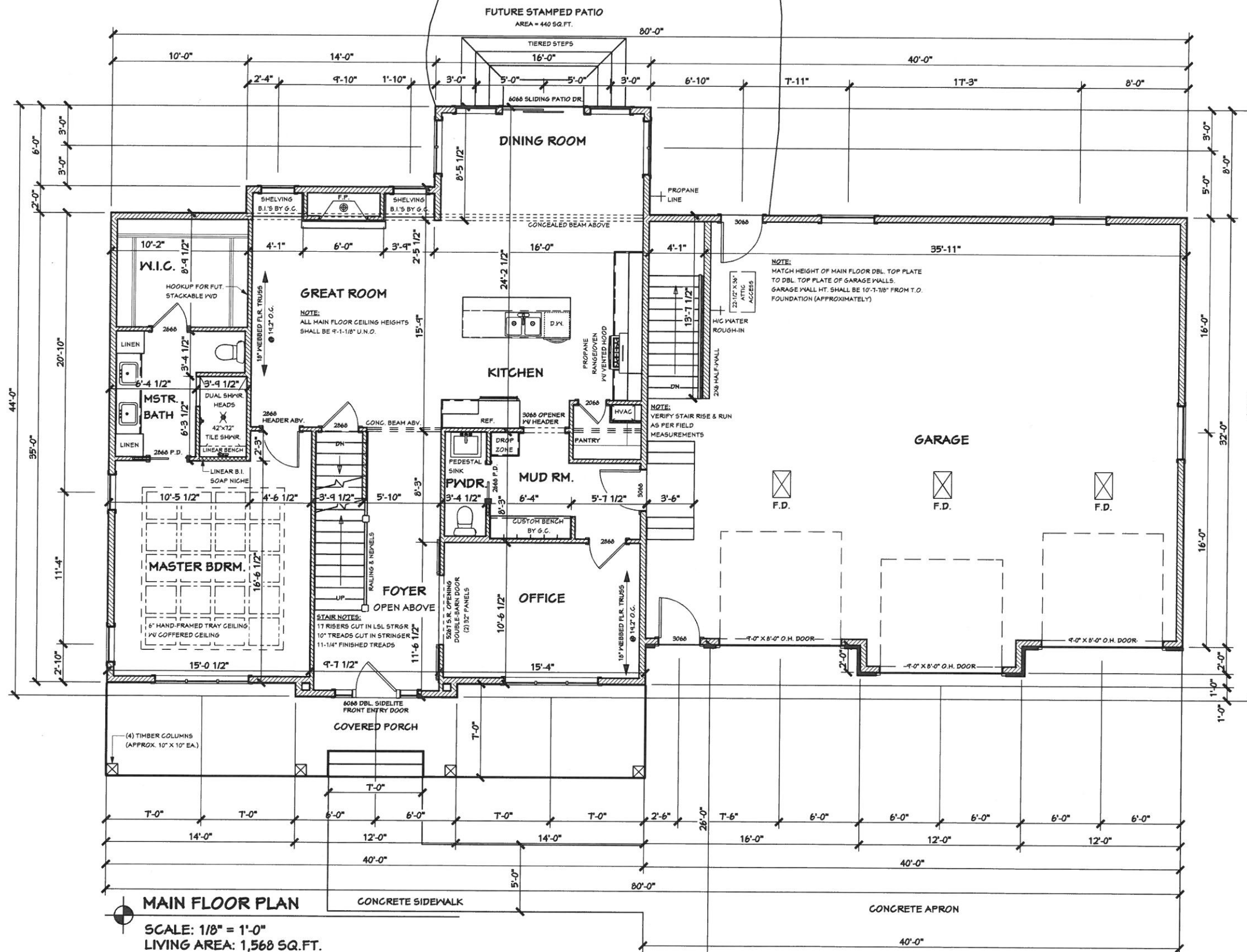
SHEET:

A-6

CONSTRUCTION SET

DATE: 11.28.17

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.



LAYOUT NOTES:

1. ALL DIMENSIONS TAKEN THROUGHOUT THIS PLAN FOLLOW FRAMING MEMBERS ONLY. EXTERIOR SHEATHING WILL FOLLOW THE PERIMETER OF THE PLAN AS DRAWN. **DO NOT** SUBTRACT SHEATHING, DRYWALL, OR OTHER SURFACES FROM ANY DIMENSION UNLESS IT IS SPECIFICALLY NOTED OTHERWISE.
2. TRUSS LAYOUTS SHALL COMPLY WITH ALL OF THE DIMENSIONS AS DRAWN & SPECIFIED THROUGHOUT THIS PLAN.
3. IF ANY SUBCONTRACTOR HAS ANY COMMENTS, CONCERNS, OR QUESTIONS REGARDING THIS LAYOUT, OR NEEDS ANY FURTHER DIMENSIONING, PLEASE CONTACT THE GENERAL CONTRACTOR FOR VERIFICATION.

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"
LIVING AREA: 1,568 SQ.FT.

NO.	DESCRIPTION	DATE	BY
1	ADJUSTED SITE PLAN	11.28.17	ACL

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE



DATE:
11/28/2017

SCALE:

SHEET:
A-7

CONSTRUCTION SET

DATE: 11.28.17

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.

NO.	DESCRIPTION	DATE
1	ADJUSTED SITE PLAN	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE

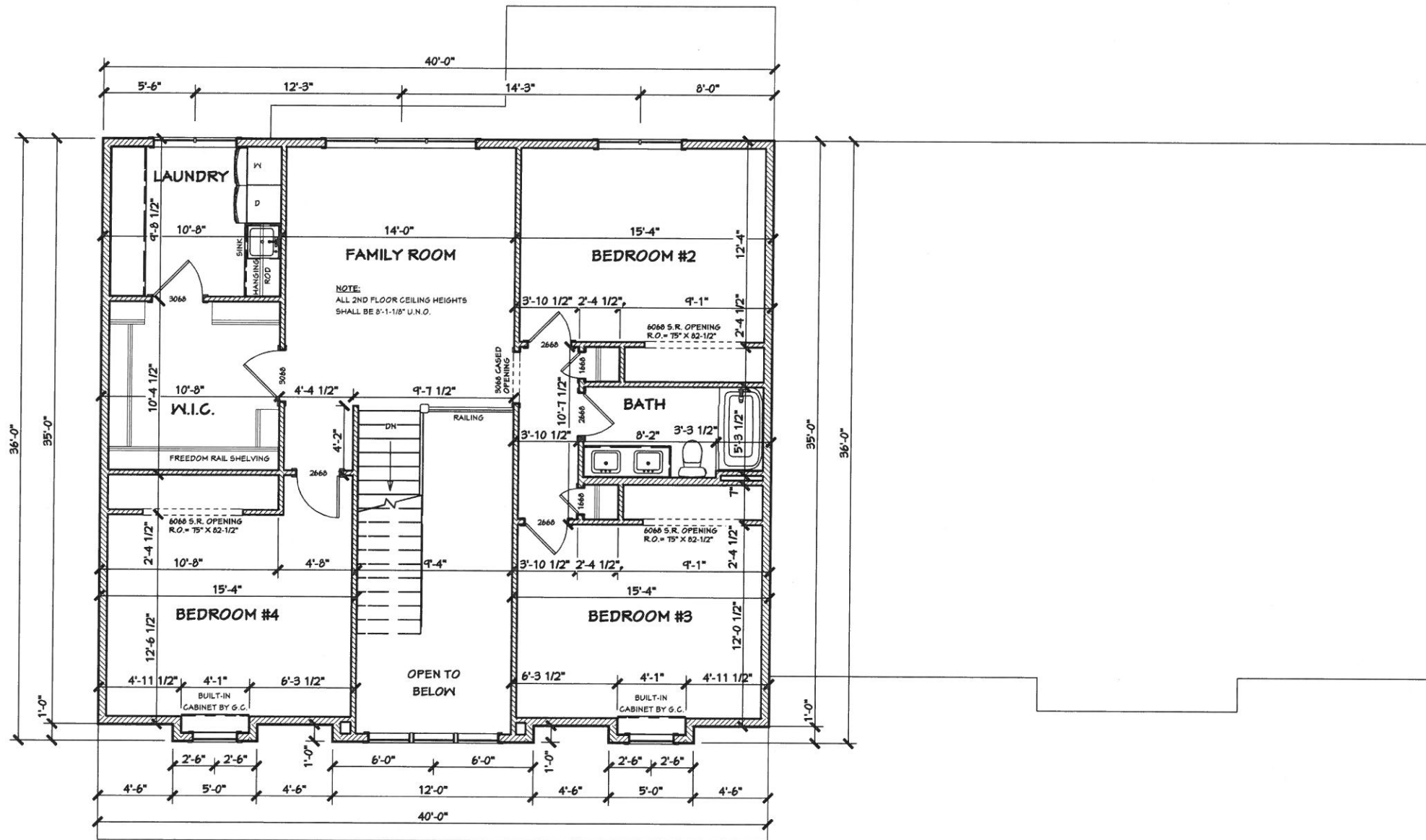
BENJAMIN
CUSTOM HOMES



DATE:
11/28/2017

SCALE:

SHEET:
A-8



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
LIVING AREA: 1,237 SQ.FT.

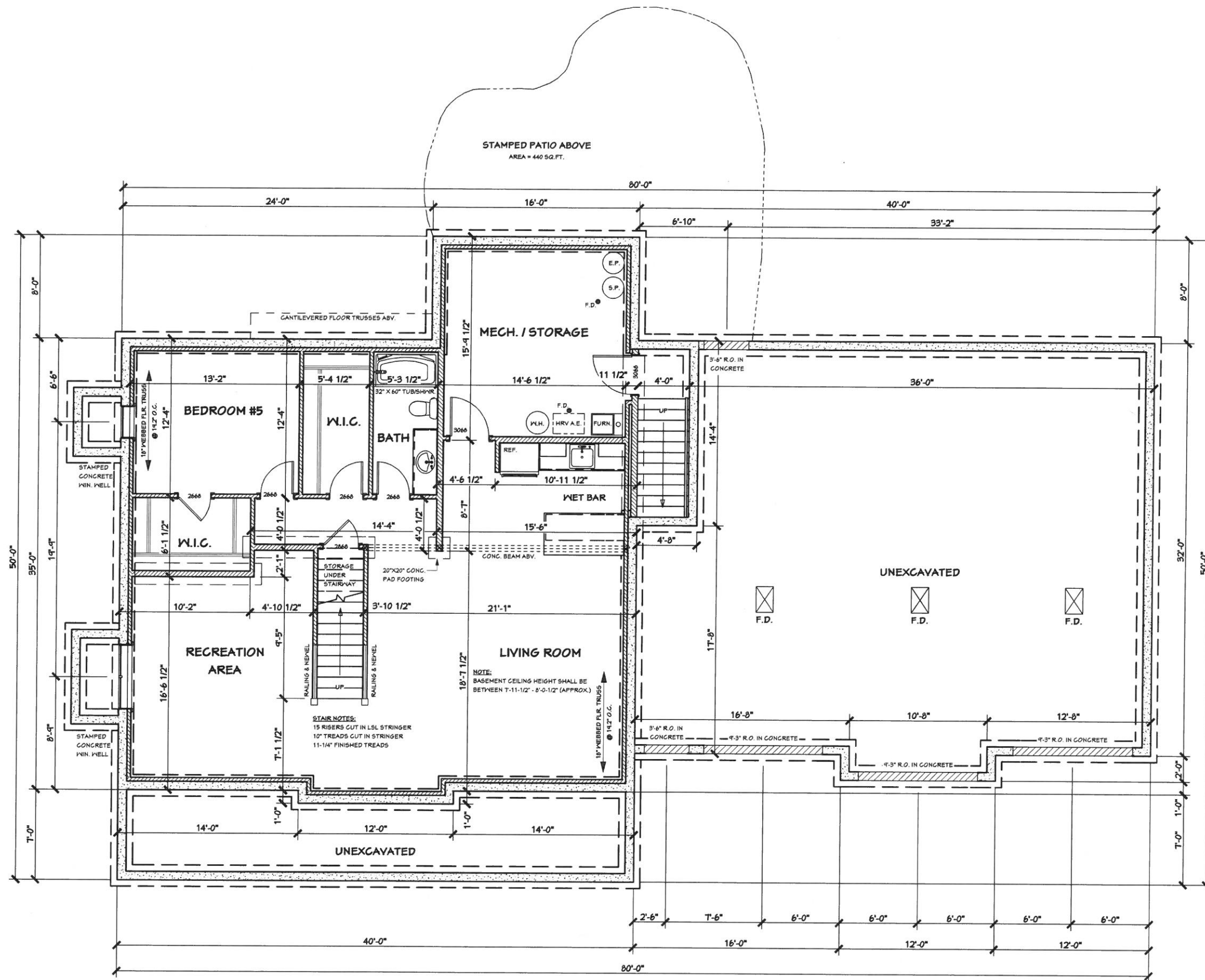
LAYOUT NOTES:

1. ALL DIMENSIONS TAKEN THROUGHOUT THIS PLAN FOLLOW FRAMING MEMBERS ONLY. EXTERIOR SHEATHING WILL FOLLOW THE PERIMETER OF THE PLAN AS DRAWN. **DO NOT** SUBTRACT SHEATHING, DRYWALL, OR OTHER SURFACES FROM ANY DIMENSION UNLESS IT IS SPECIFICALLY NOTED OTHERWISE.
2. TRUSS LAYOUTS SHALL COMPLY WITH ALL OF THE DIMENSIONS AS DRAWN & SPECIFIED THROUGHOUT THIS PLAN.
3. IF ANY SUBCONTRACTOR HAS ANY COMMENTS, CONCERNS, OR QUESTIONS REGARDING THIS LAYOUT, OR NEEDS ANY FURTHER DIMENSIONING, PLEASE CONTACT THE GENERAL CONTRACTOR FOR VERIFICATION.

CONSTRUCTION SET

DATE: 11.28.17

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.



- FOUNDATION NOTES:**
1. ALL DIMENSIONS ARE PULLED FROM CONCRETE & FRAMING MEMBERS.
 2. ALL FOOTINGS ARE 20" WIDE BY 10" DEEP U.N.O.
 3. ALL FOUNDATION WALLS ARE 8" THICK U.N.O.
 4. ROUGH OPENINGS FOR EXTERIOR WINDOWS SHALL BE VERIFIED WITH THE CONTRACTOR PRIOR TO POURING EXTERIOR WALLS. THE CONTRACTOR WILL NOT ASSUME ANY RESPONSIBILITY FOR FAILURE TO VERIFY.

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"
 LIVING AREA: 1,532 SQ.FT.

NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE



DATE:
 11/28/2017

SCALE:

SHEET:

A-9

CONSTRUCTION SET

DATE: **11.28.17**

IMPORTANT: ALL PREVIOUS DRAWINGS, DOCUMENTS, OR REPRESENTATIONS OF THIS STRUCTURE ARE NULL & VOID.

NO.	DESCRIPTION	BY	DATE
1	ADJUSTED SITE PLAN	ACL	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE

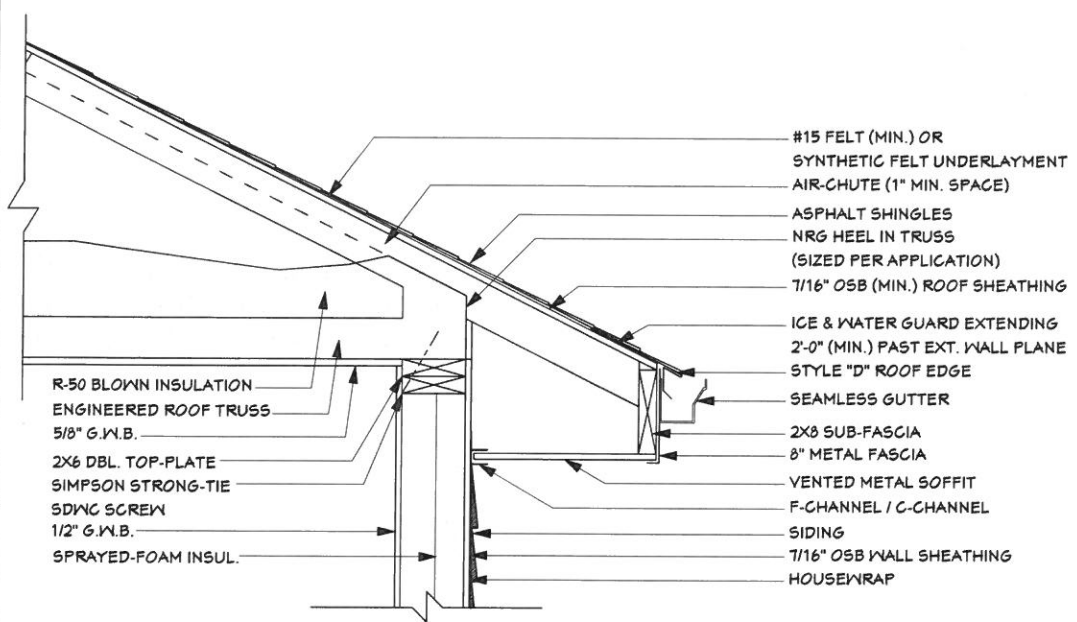


DATE:
11/28/2017

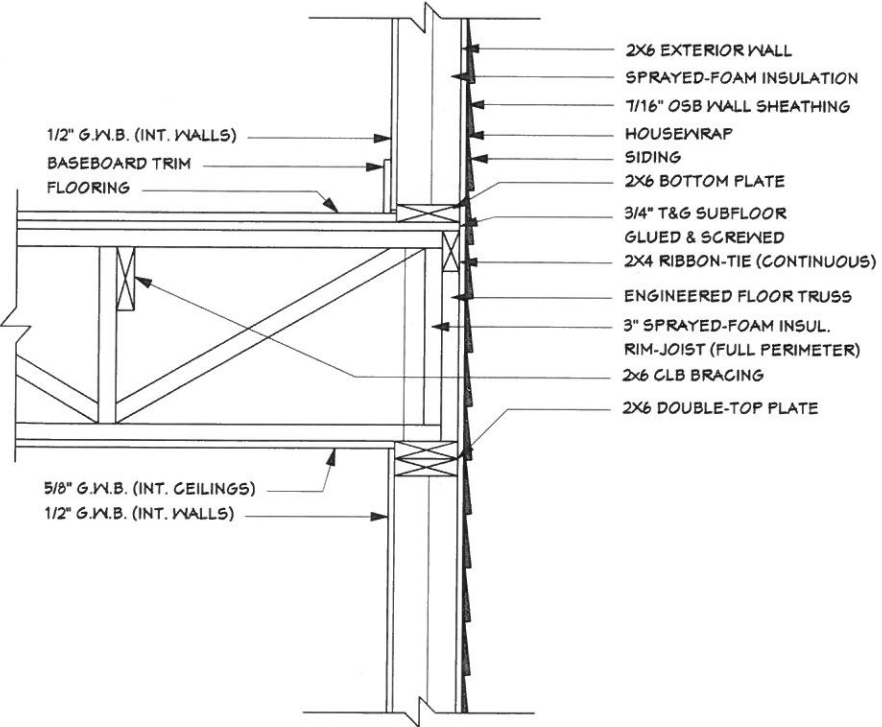
SCALE:

SHEET:

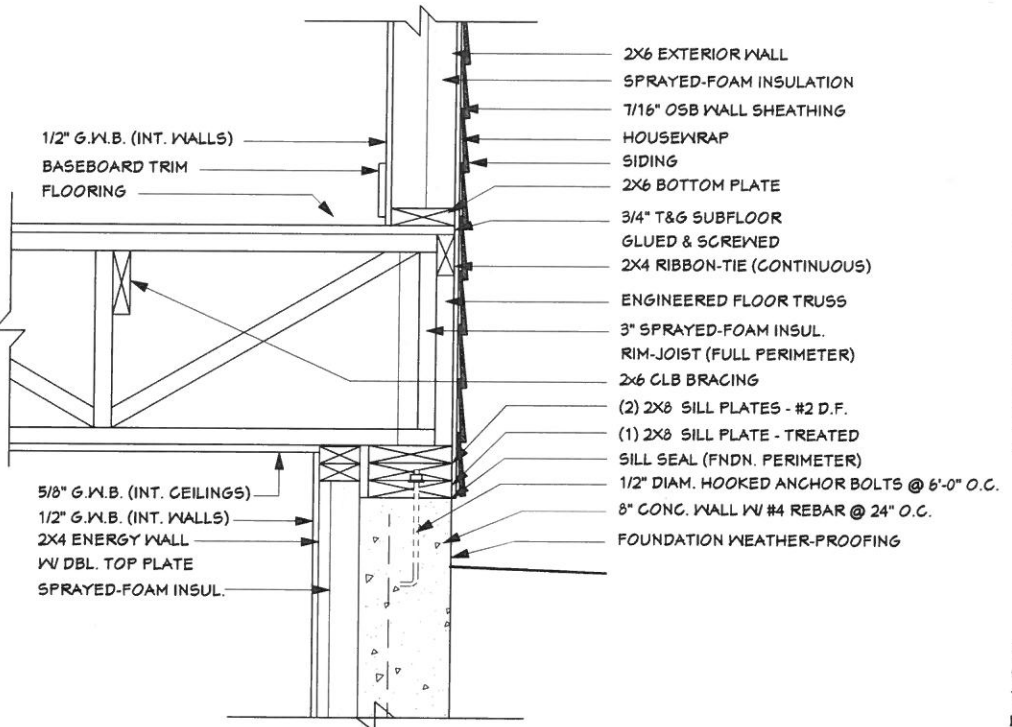
A-10



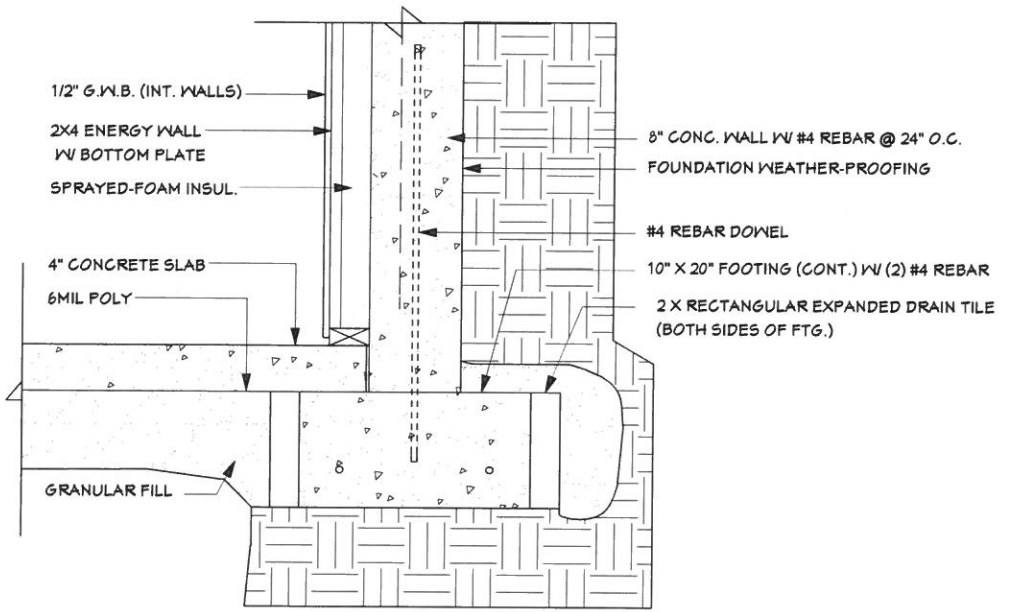
ROOF EAVE DETAIL
SCALE: 3/4" = 1'-0"



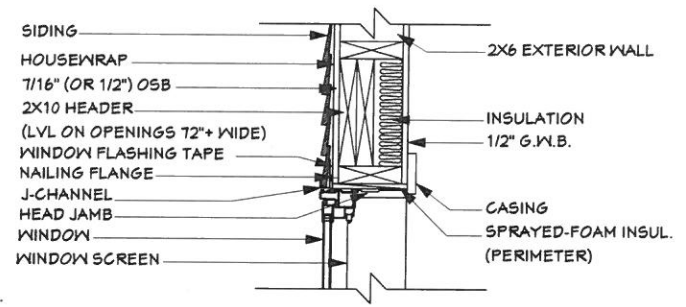
SECOND FLOOR TRUSS DETAIL
SCALE: 3/4" = 1'-0"



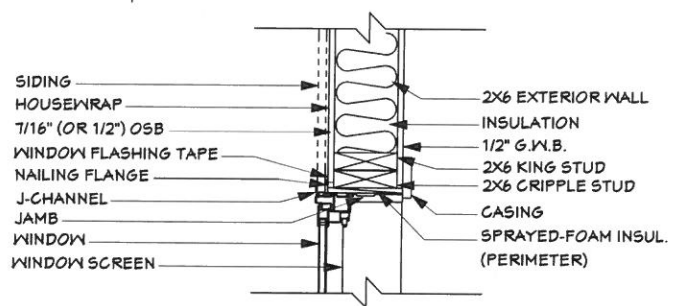
MAIN FLOOR TRUSS DETAIL
SCALE: 3/4" = 1'-0"



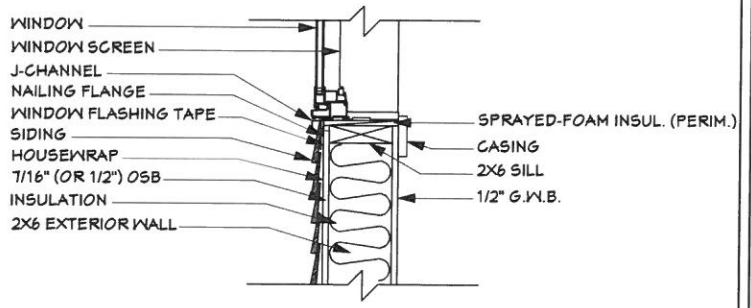
FOOTING DETAIL
SCALE: 3/4" = 1'-0"



WINDOW HEAD DETAIL
SCALE: 1" = 1'-0"



WINDOW JAMB DETAIL
SCALE: 1" = 1'-0"



WINDOW SILL DETAIL
SCALE: 1" = 1'-0"

CONSTRUCTION SET

DATE: **11.28.17**

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NO.	DESCRIPTION	DATE
1	ADJUSTED SITE PLAN	11.28.17

PROJECT ADDRESS:
EMBDEN, ND

CLIENT:
TIM & DANIELLE WADESON RESIDENCE

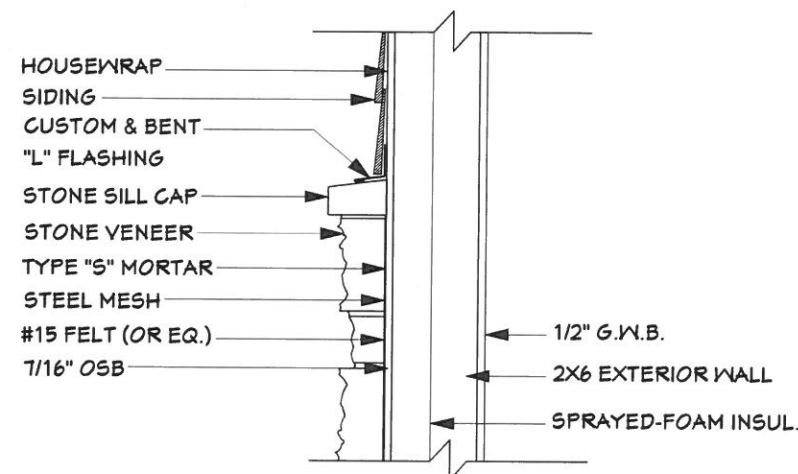
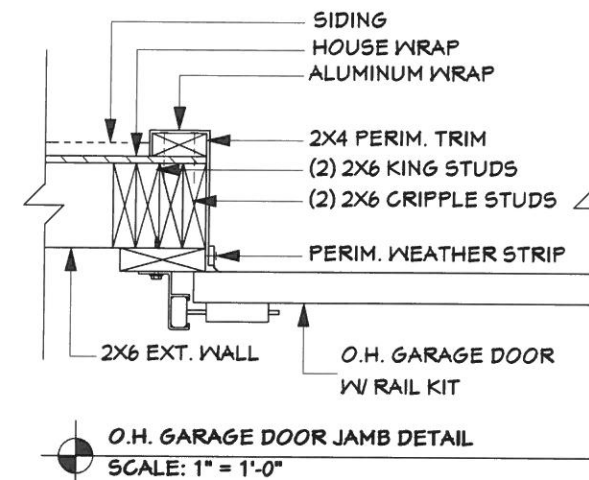
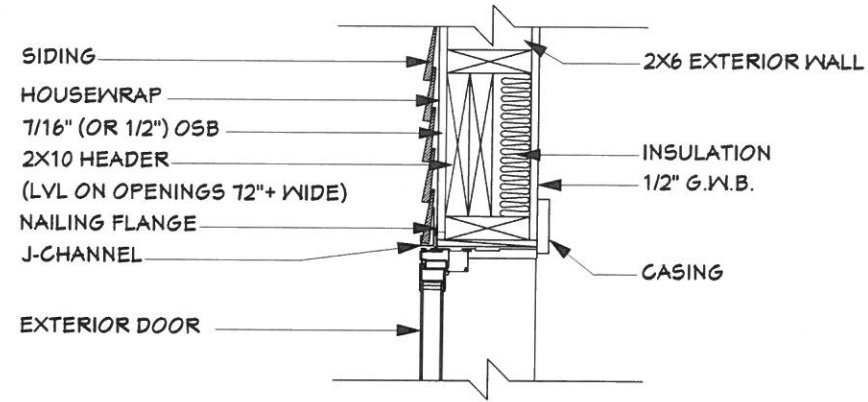
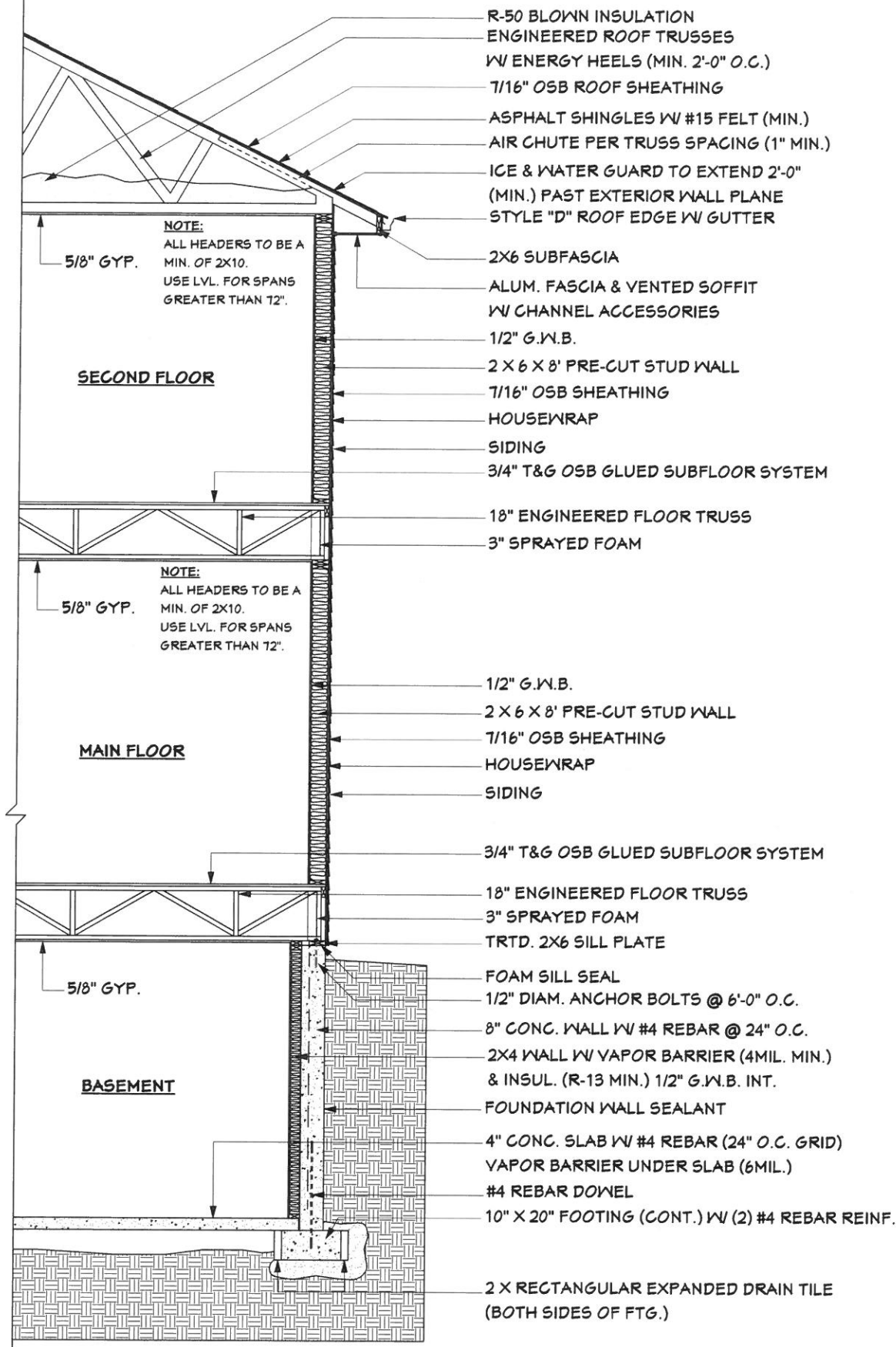


DATE:
11/28/2017

SCALE:

SHEET:

A-11



PROJECT STATISTICS:

LEGAL DESCRIPTION: WADESON ACRES SUBDIVISION (MINOR SUB.)
IN THE NW 1/4 SECTION 5, TOWNSHIP 138 N,
RANGE 53 W, WALBURG TOWNSHIP,
CASS COUNTY, NORTH DAKOTA

LOT SIZE: 8 ACRES
ANTICIPATED DISTURBED AREA: 8,000 SQ. FT. (Max.)
BUILDING ENVELOPE: 2,812 SQ. FT.
ROOF AREA: 4,012 SQ. FT. (40.12 SQ.)
HEIGHT AT RIDGE: 29 FT.

SOIL TYPE: SHALLOW AND MODERATELY DEEP, WELL-DRAINED
SOIL FORMED IN MATERIAL WEATHERED FROM BASALT
THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER
PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED
TO BE MODERATE.

SOIL DENSITY: *2,000 PSF ALLOWABLE (ASSUMED). TO BE DETERMINED
AT TIME OF EXCAVATION.

FROST DEPTH: *4'-0"
SEISMIC ZONE: C,
WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

SITE PLAN NOTES:

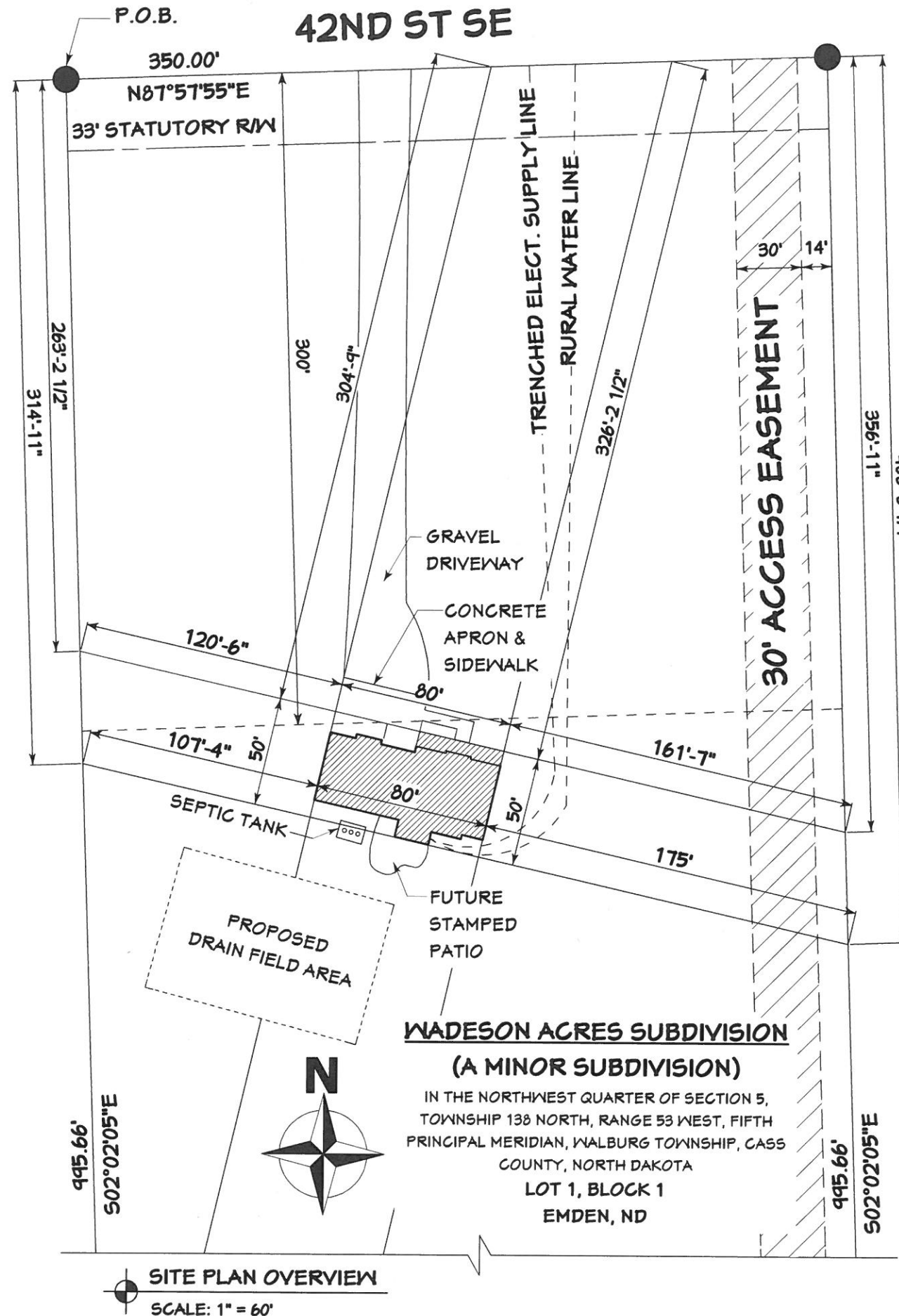
1. SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION. USE PROVIDED PLOT MAP BY CIVIL ENGINEERING FIRM AS PROVIDED BY THE DEVELOPER, COUNTY, OR CITY JURISDICTION.
2. CALL BEFORE YOU DIG: 800.795.0555 - NORTH DAKOTA (OR 811)

GRADING NOTES:

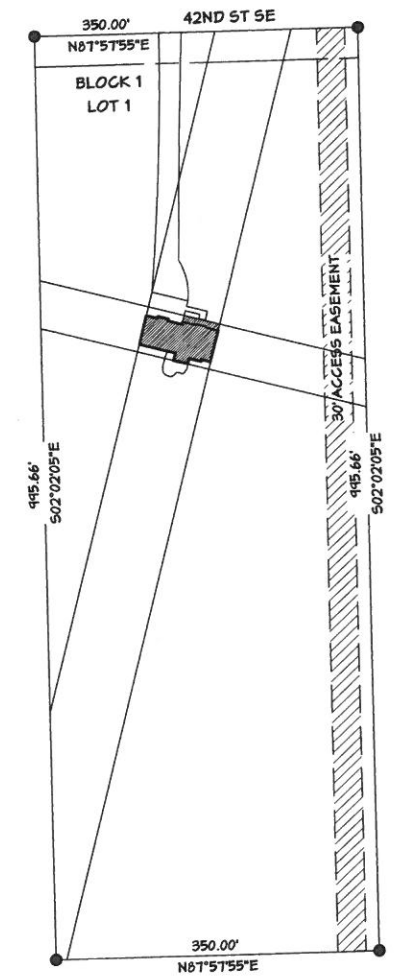
1. EXCAVATION SUBCONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD NATURAL CHANNELS AND DISPERSION TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
5. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.



CONSTRUCTION SET
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& VOID.



SITE PLAN OVERVIEW
SCALE: 1" = 200'

SITE PLAN OVERVIEW
SCALE: 1" = 60'



NO.	DESCRIPTION	DATE
1	ADJUSTED SITE PLAN	11.28.17

BY: [Signature]

PROJECT ADDRESS: EMBDEN, ND

CLIENT: TIM & DANIELLE WADESON RESIDENCE

BENJAMIN CUSTOM HOMES

DATE: 11/28/2017

SCALE:

SHEET: A-12